

**COLORADO CITY METROPOLITAN DISTRICT
PUBLIC NOTICE
BOARD OF DIRECTORS STUDY SESSION**

A study session for the Board of Directors of the Colorado City Metropolitan District will be held Tuesday July 28, 2026, beginning at 6:00 p.m.

1. Fire Hydrants
2. Open ranging of cattle?
3. Water Restriction
4. Extension of Audit by Auditors
5. Lagoon testing
6. Painting of Tank
7. CCAAC Review:
8. READING BY CHAIRPERSON OF THE STATEMENT OF CONDUCT AND DEMEANOR:
9. CITIZENS INPUT:

BOARD OF DIRECTORS REGULAR MEETING

A regular meeting of the Board of Directors of the Colorado City Metropolitan District will be held on Tuesday July 28, 2026, beginning at 6:15 p.m.

CALL TO ORDER:

2. **PLEDGE OF ALLEGIANCE:**

3. **MOMENT OF SILENT REFLECTION:**

4. **QUORUM CHECK:**

5. **APPROVAL OF AGENDA:**

6. **APPROVAL OF MINUTES:**

**Study Meeting Minutes June 23, 2026
CCACC Meeting Minutes June 23, 2026**

7. **BILLS PAYABLE:**

8. **FINANCIAL REPORT:**

9. **OPERATIONAL REPORTS:**

- a. Beckwith Dam report:
- b. Committee Reports: Newsletter July Neil

10 **ATTORNEYS REPORT:**

11. **AGENDA ITEMS:**

12. OLD BUSINESS:

Goals and achievement Plan/ Strategic plan/ Ranch Water/Rosemont And Camelot/Meter Changeout/Water loss/
Water Survey and Leak Detection/Meter Towers

13. NEW BUSINESS:

14. CCACC:

A. CCACC:

- | | |
|---------------------|-----------|
| 1. 4790 Pagosa Way | Pole Barn |
| 2. 4000 Lincoln Ct. | Shed |
| 3. 2956 Knoll Ct. | Shed |

B. Actions

- a. 1 First Letters
- b. 0 Second letters
- c. 0 Third letters
- d. 0 Unauthorized Structure

15. CORRESPONDENCE. Letter From Roque for Andrew Hayse

16. EXECUTIVE SESSION:

17. ADJOURNMENT.

Posted July 24, 2026

James Eccher is inviting you to a scheduled Zoom meeting.

Topic: Colorado City Metropolitan District Study/Meeting July 28,2026

Time: Jul 28, 2026 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84373574637?pwd=OiOwQVxQUyLfHXn7XlXu5JhYGGQxMXb.1>

Meeting chat link

<https://us02web.zoom.us/jc/84373574637>

View meeting insights

<https://us02web.zoom.us/jc/84373574637?muid=5cb66b70-26f0-4a96-9723-087baee981db>

Meeting ID: 843 7357 4637

Passcode: 347178

One tap mobile

+17193594580,,84373574637#,,,,*347178# US

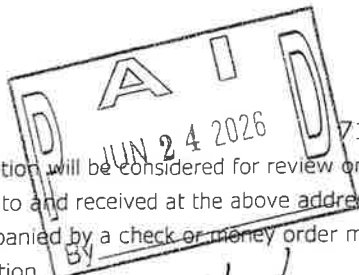
+16694449171,,84373574637#,,,,*347178# US

Join by SIP

• 84373574637@zoomcrc.com

Join instructions

https://us02web.zoom.us/j/84373574637/invitations?signature=B6eofUmv_n8wqs61RvCKsNVKsaefZ6CkmilRxHpMGkk



Colorado City Architectural Advisory Committee
P.O. Box 20229

Colorado City, Colorado 81019

RECEIVED

JUN 24 2026

719 676-3396 colocityccaac@colocitymdco.gov

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3pm on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCMD" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: Hughes Family Trust

Mailing Address: 19562

Email

City: Colorado City State: CO ZIP: 81019 Telephone: 719-250-8099

Property Address: 4790 Pagosa Way

City: Colorado City State: CO ZIP: 81019 Lot 614 Unit 5 Parcel#

CONTRACTOR

Contractor: Richardson Renovations & Construction

Mailing Address 38275 South Rd

Email

City Pueblo State CO Zip 81006 Telephone 719-251-2534 License # 0014847

Requested Approval for: ☐ Commercial Building ☐ Residence ☒ Garage ☐ Shed ☐ Fence ☐ Other

Type of Construction: ☐ Steel ☒ Wood ☐ Manufactured ☐ Other Pole Barn

Mobile Home: ☐ New ☐ Used Year Built: Pueblo County Zoning Code: CCMD Zoning Code:

Floor Area Square Footage: 3200 Square Footage Required by Covenants:

REQUIRED ITEMS: Before CCAAC will proceed with process **ALL required items must be completed!**

☒ (All requests) Approved Plot Plan Drawn to Scale from Pueblo County Planning and Zoning (see back)

☐ City/County Approved Water and Sewage Access (New Construction) see back

☐ Approved Road Access to property. Pueblo County Road or CCMD Road Pagosa Way

☒ Property Line Staked Out Corners

☒ Foundation Plan and Building Staked Out **Before** Excavation

☐ One (1) copy of Blue Print and One (1) Electronic Copy sent to colocityreception@colocitymdco.gov

☒ Elevations – Front, Back and Sides

☐ Exterior Color Scheme, Type of Siding and Roofing Materials Must be indicated Arctic White Charcoal Gray

☐ Location of Improvements (Porches, Decks, Garages, Carports, Driveways, Accessory Buildings, Landscaping) crinkle finish

☐ Re-Roofing / Exterior Remodel/Paint - Residence and/or Garage

☒ Garages and Accessory Buildings must have distance between buildings

☐ Fence – Type of Materials, Height and Locations

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property Owner's or Contractor's Signature Kevin Hughes

Date 6/23/26

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; it is also understood that the construction shall commence within 90 days of Colorado City Metropolitan District (CCMD) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCMD approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC and CCMD. Changes must comply with covenants. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.coloradocitymd.org
- New Construction must purchase water, sewer and/or cistern tap within 90 days of approval. If septic and/or a cistern is being used on the building site, the Pueblo County Health Department and CCMD must approve in writing that these sources qualify under Pueblo County Health Codes.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- Pueblo County Planning & Zoning requires that all property changes and improvements must be recorded.
- CCAAC meets every Thursday. After reviewing plans and specifications, CCAAC may approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one {1} set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCMD. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed or the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- **CCAAC is not responsible for any monetary losses you incur;** therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCACC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

☐ Commercial/Industrial	\$400.00
☐ Multifamily Residential	\$300.00
☐ New Single Family Residential	\$200.00
☒ Sheds/Fences/Garages/Carports/Decks	\$40.00
☐ CCMD Road Access Permit	\$100.00
☐ Cistern/Septic	\$100.00
☐ Re-Roofing / Exterior Remodel/Paint	\$25.00
☐ Sewer Tap	\$10,000.00
☐ Water Tap	\$15,000.00

Total Fee Amount Paid: _____

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 {\$40 application fee + \$40 late fee} and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner/Contractor Signature: _____

Date: 6/23/26

CCAAC Accessory Build Inspection Report

A 37 Date Inspected 6-25-26 Inspected by RANDY DEVENPORT

Zoned A Lot 614 Unit: 5 Parcel #: _____

Owner: HUGHES FAMILY TRUST Phone _____

Physical Address: 4790 PAGOSA WAY

Garage ☒ Car Port _____ Shed _____ Driveway _____ Fence _____

Re-Model _____ Porch/Deck _____ Re-Roof _____ Landscape _____ Paint _____

Lot size: _____ sq. ft.

Colorado City Covenants reviewed?

☒ Yes ☐ No

	Question	Approved
Structure/Size: _____	?	☒ Yes ☐ No
Form: _____	?	☒ Yes ☐ No
Texture: _____	?	☒ Yes ☐ No
Color: _____	?	☒ Yes ☐ No
Ext. Appurtenances: _____	?	☒ Yes ☐ No
Property lines Marked? _____	?	☒ Yes ☐ No
Structure lines Marked? _____	?	☒ Yes ☐ No

Property Set Backs

Required	Actual		Required	Actual	
Front: <u>25</u>	<u>77</u>	☒ Pass / ☐ Fail	Rear: <u>15</u>	<u>109</u>	☒ Pass / ☐ Fail
Side: <u>7.5/7.5</u>	<u>43/58</u>	☒ Pass / ☐ Fail			

Information / Corrections Required For Final Approval:

☒ Approved / ☐ Disapproved-CCAAC Member Signature _____

Additional Notes: _____

Colorado City Declaration of Protective Covenants:

Said Conditions: *What can be inspected.*

7. That any building erected upon any of said lots shall be approved prior to construction by an Architectural Committee appointed by Declarant, or successors appointed by them, in Pueblo, Colorado, or at such other place as may be designated by the Declarant. The Architectural Committee, in passing on any requests for approval, shall consider the **Location (setbacks), Texture, Color, and Exterior Appurtenances**

Pueblo County Code - Title 17

Set Backs: General - based on zoning

17.24.090. (Front yard) Except as provided in 17.120.020. Buildings shall be set back not less than **twenty-five (25) feet from the front property line**

17.24.100. (Side yard) A principal structure shall provide **total side yards of not less than fifteen (15) feet with not less than five (5) feet on one side**, and, except as provided in Section 17.120.020, an accessory building shall be set back from the side lot line **at least five (5) feet**.

17.24.110. (Rear yard). A principal structure shall be **set back at least fifteen (15) feet from a rear lot line**, and except as provided in Section 17.120.020, an accessory building shall be set back from a rear lot line **at least five (5) feet**.

Note: Section 17.120 covers 'Supplementary Regulations' and references **Agricultural One, Two, Three and Four Zone Districts**.

For Hughes Family Trust
Parcel A Lot Line Rearrangement LLR-26-4
County of Pueblo, State of Colorado



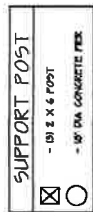
Scale 1" = 50ft



BH² LAND SURVEYING
P.O. Box 20399, Colorado City, CO 81019
Phone: 719-676-2072
Email: bh2@ghvalley.net

Scale 1" = 50'	Date: 6-18-2026	Drawn By: WSB
	Sheet 1/1	Job No 2024-225

By: William S. Bechaver, PLS. 38103
BH² Land Surveying, LLC
Colorado City, Colorado



NEW POLE BARN
80'-0" X 40'-0"
14'-0" CLG

POLE SPACING PLAN
SCALE: 1/4" = 1'



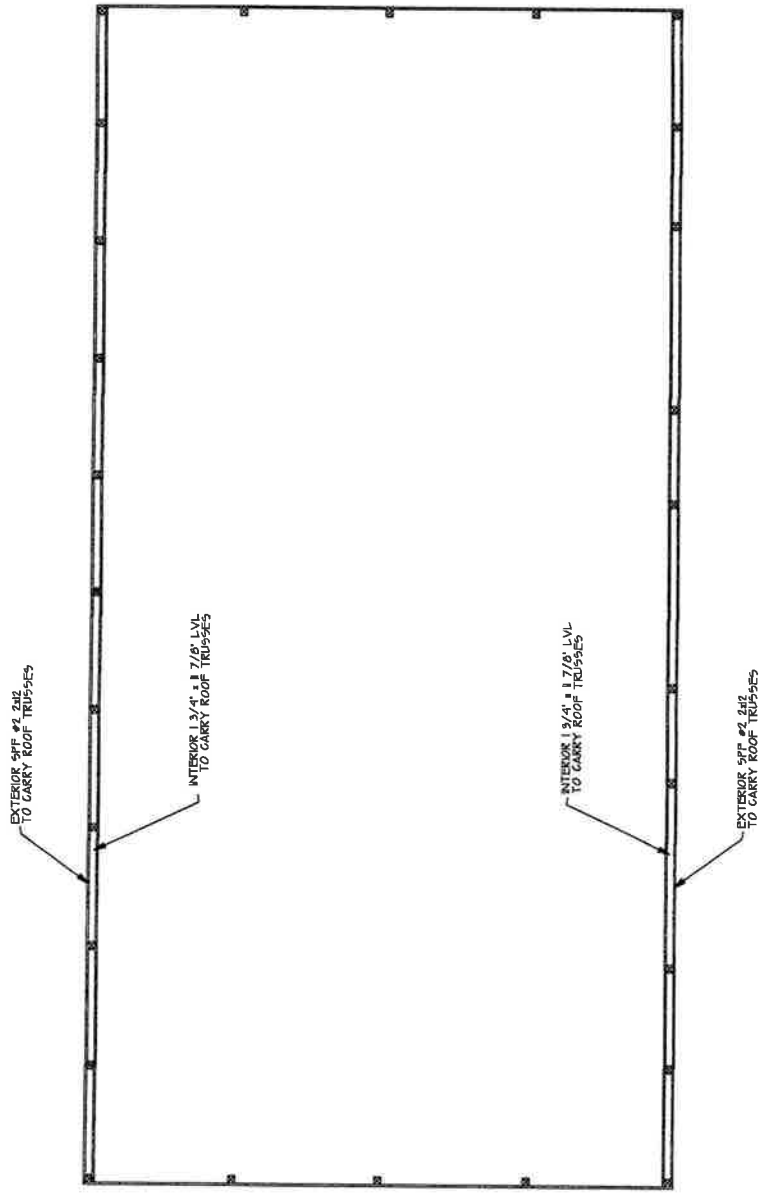
DRAWN BY: DJN	CHECKED BY: MW	DATE DRAWN: 4.25.20	SCALE: NOTED	SHEET: 51	OF: 54
---------------	----------------	---------------------	--------------	-----------	--------

POLE BARN POLE LAYOUT
4790 PAGOSA WAY,
COLORADO CITY, COLORADO

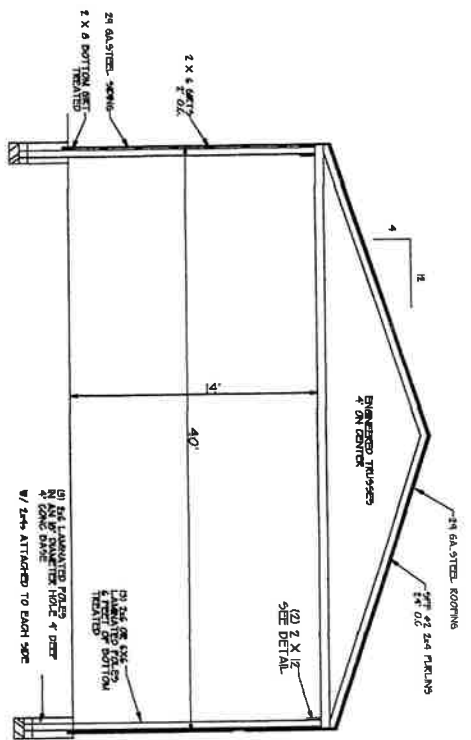
DJN DRAFTING
2723 WITHERS AVENUE, PUEBLO, COLORADO
PHONE: 719-569-4401

REVISIONS	DATE

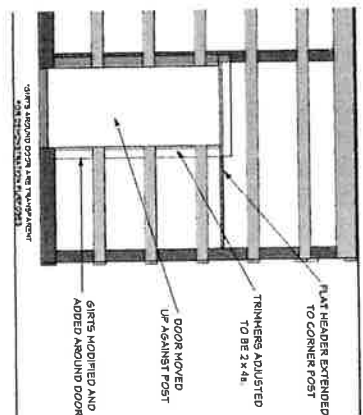
DYN DRAFTING		2723 WITHERS AVENUE, PUEBLO, COLORADO		PHONE: 719-569-4401	
POLE BARN LAYOUT & FRAMING		4790 PAGOSA WAY,		COLORADO CITY, COLORADO	
DRAWN BY: DJN		CHECKED BY: MFP		DATE: 4.25.26	
SCALE: NOTED		SHEET: 52		OF: 54	
DATE: APRIL 28, 2026		DRAWN BY: DJN		CHECKED BY: MFP	



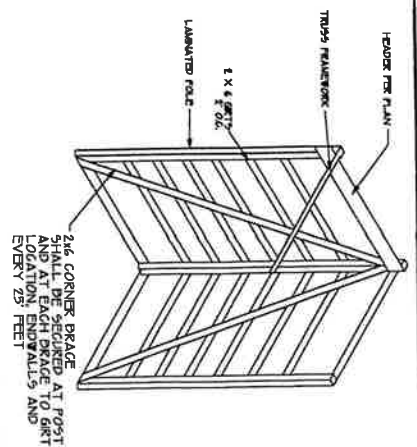
FRAMING PLAN
SCALE: 1/4" = 1'



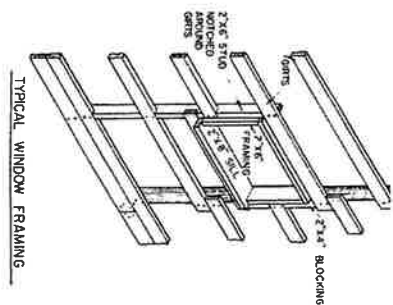
BUILDING SECTION
SCALE 1/4" = 1'-0"



TYPICAL DOOR FRAMING
SCALE NTS

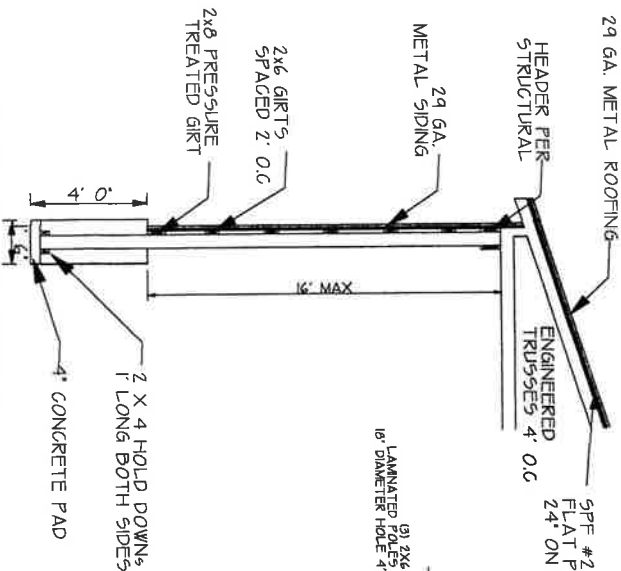
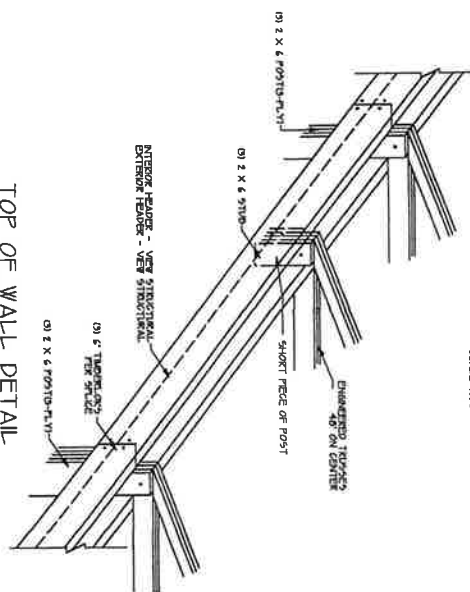


CORNER WALL BRACING DETAIL
SCALE NTS



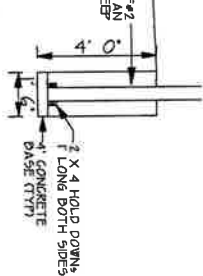
TYPICAL WINDOW FRAMING
SCALE NTS

TOP OF WALL DETAIL
SCALE NTS



8' OR LESS PIER SPACING
DETAIL SECTION
SCALE 1/2" = 1'-0"

18\"/>



GENERAL NOTES & SPECIFICATIONS:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY AVAILABLE.
3. ALL WELDS SHALL BE MADE BY A WELDER QUALIFIED TO WELD TO THE REQUIREMENTS OF THE AMERICAN WELDED INSTITUTE (AWI) AND SHALL BE INSPECTED AND APPROVED BY A QUALIFIED INSPECTOR.
4. ALL BOLTS AND NUTS SHALL BE OF THE HEAVY DUTY TYPE AND SHALL BE GALVANNEAL.
5. ALL BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC).
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC SAFETY.

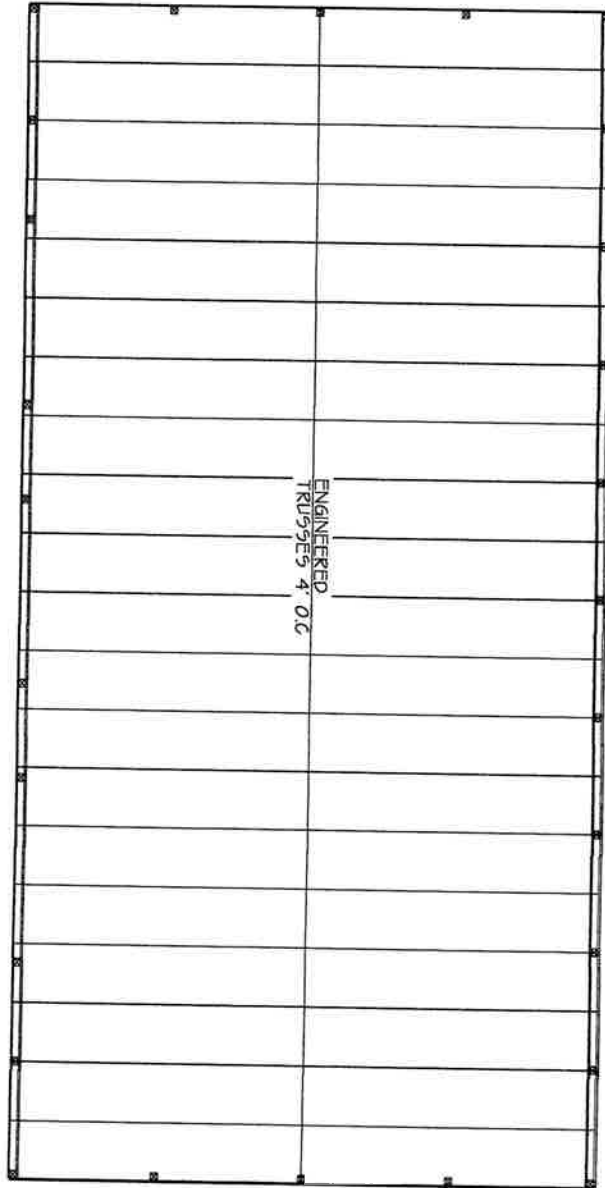


POLE BARN DETAILS
4790 PAGOSA WAY,
COLORADO CITY, COLORADO

DJN DRAFTING

2723 WITHERS AVENUE, PUEBLO, COLORADO
PHONE: 719-369-4401

DESIGNED BY	DATE
CHECKED BY	4/25/26
SCALE	NOTED
SHEET	OF
54	54



ROOF FRAMING PLAN

SCALE: 1/4" = 1'



POLE BARN ROOF LAYOUT
4790 PAGOSA WAY,
COLORADO CITY, COLORADO

DJN DRAFTING

2723 WITHERS AVENUE, PUEBLO, COLORADO
PHONE: 719-369-4401

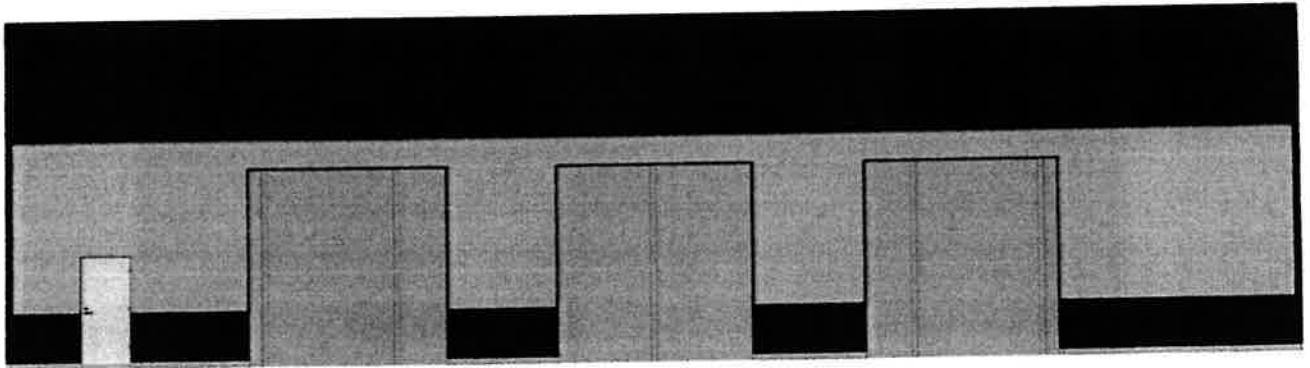
REVISIONS DATE

DRAWN BY: DJN
CHECKED BY: MWR
DATE DRAWN: 4/25/16

SHEET 53 OF 54

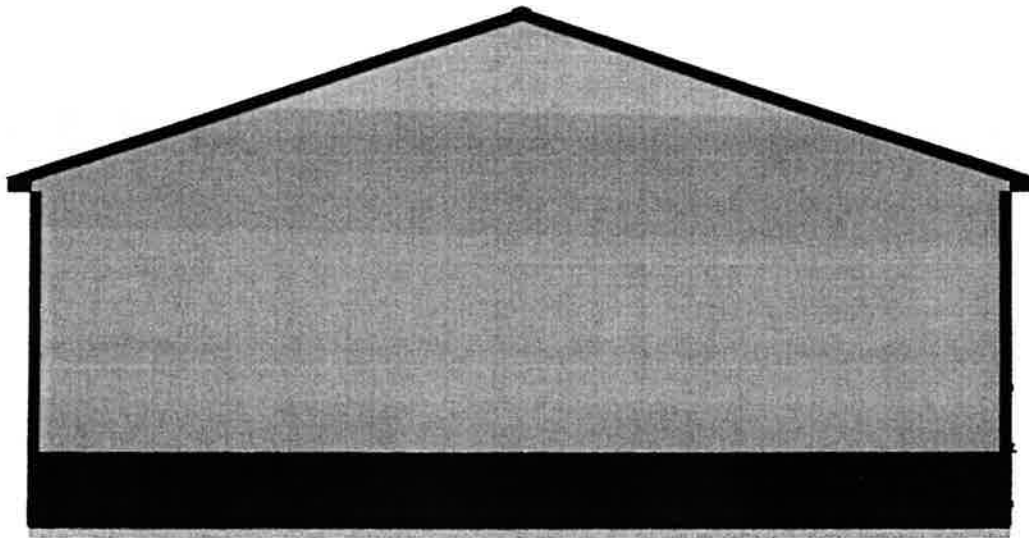
Right Elevation

Job: RRC-Colorado City
Date: 4/17/2026
Time: 7:50 AM



Back Elevation

Job: RRC-Colorado City
Date: 4/17/2025
Time: 7:50 AM



RECEIVED

JUL 23 2026

Initial: SW

Accessory Build Application

Colorado City Architectural Advisory Committee
 P.O. Box 20229, Colorado City, Colorado 81019
 719 676-3396 colocityccaac@colocitymdco.gov

ENTERED
 JUL 23 2026
 Initial: SW

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3pm on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: Wesleigh Womack Samuel Womack
 Mailing Address: PO Box 19899 Email: WSKyeGray7@gmail.com
 City: Colorado City State: CO ZIP: 81019 Telephone: 719 367 4682 - 719 648 0308
 Property Address: 2956 Knoll Court Colorado City Colorado 81019
 City: Colorado City State: CO ZIP: 81019 Lot 17 Unit _____ Parcel# 46-202-20015

CONTRACTOR

Contractor: N/A
 Mailing Address _____ Email _____
 City _____ State _____ Zip _____ Telephone _____ License # _____

Requested Approval for: ☐ Carport ☒ Shed ☐ Fence ☐ Deck/Porch ☐ Driveway ☐ Re-Roof ☐ Re-Model ☐ Re-Paint
☐ Other _____

Type of Construction: ☒ Steel ☐ Wood ☐ Other _____

Pueblo County Zoning Code: _____ CCMD Zoning Code: _____

Floor Area Square Footage: 144

REQUIRED ITEMS: Before CCAAC will proceed with process ALL required items must be completed!

- ☒ Approved Plot Plan Drawn to Scale (see back)
- ☒ Car Ports and Accessory Buildings must have distance between buildings on plot map
- N/A ☒ Approved Road Access to property. Pueblo County Road or CCMD Road _____
- ☒ Property Line Staked Out Corners
- ☒ Foundation Plan and Building Staked Out **Before** Excavation Wood Base.
- ☒ One (1) copy of Blue Print and One (1) Electronic Copy sent to colocityreception@colocitymdco.gov
- ☒ Elevations – Front, Back and Sides
- ☒ Exterior Color Scheme, Type of Siding and/or Fence Materials Must be indicated dark Grey.

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property Owner's or Contractor's Signature

Wesleigh Womack

Date 7-23-26

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; it is also understood that the construction shall commence within 90 days of Colorado City Metropolitan District (CCMD) approval. Actual construction period shall not exceed 180 days without approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC and CCMD. Changes must comply with covenants. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.coloradocitymd.org.

- New Construction must purchase water, sewer and/or cistern tap within 90 days of approval. If septic and/or a cistern is being used on the building site, the Pueblo County Health Department and CCMD must approve in writing that these sources qualify under Pueblo County Health Codes.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo County Planning Department.

- Pueblo County Planning & Zoning requires that all property changes and improvements must be recorded.
- CCAAC meets every Thursday. After reviewing plans and specifications, CCAAC may approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one {1} set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.

- Construction must not commence until you have received a Letter of Approval from CCMD or verbal approval from CCMD office staff. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed or the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.

- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

☐ Sheds/Fences/Carports/Decks	\$40.00
☐ CCMD Road Access Permit	\$100.00
☐ Cistern/Septic	\$100.00

Total Fee Amount Paid: \$40.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner/Contractor Signature: Wesley Womack

Date: 7-23-26

CCAAC Accessory Build Inspection Report

A 38

Date Inspected 7-22

Inspected by RANDY DEVENPORT

Zoned R1 Lot 17 Unit: 20

Parcel #: 46202 20013

Owner: WESLEIGH WOMACK

Phone 719 367 4682

Physical Address: 2956 KNOLL COURT

Garage _____ Car Port _____ Shed X Driveway _____ Fence _____

Re-Model _____ Porch/Deck _____ Re-Roof _____ Landscape _____ Paint _____

Lot size: _____ sq. ft.

Colorado City Covenants reviewed?

☒ Yes ☐ No

Structure/Size: _____

?

☒ Yes ☐ No

Form: _____

?

☒ Yes ☐ No

Texture: _____

?

☒ Yes ☐ No

Color: _____

?

☒ Yes ☐ No

Ext. Appurtenances: _____

?

☒ Yes ☐ No

Property lines Marked? _____

3

☒ Yes ☐ No

Structure lines Marked? _____

2

(Yes) No

Property Set Backs

Required	Actual
----------	--------

Required	Actual
----------	--------

Front: 25 30 Pass / Fail

Rear: 15 40 Pass / Fail

Side: 5/8 ~~1~~8 Pass / Fail

Information / Corrections Required For Final Approval:

Approved / Disapproved-CCAAC Member Signature _____

Randy Daep

Additional Notes

Colorado City Declaration of Protective Covenants:

Said Conditions: *What can be inspected.*

7. That any building erected upon any of said lots shall be approved prior to construction by an Architectural Committee appointed by Declarant, or successors appointed by them, in Pueblo, Colorado, or at such other place as may be designated by the Declarant. The Architectural Committee, in passing on any requests for approval, shall consider the **Location (setbacks), Texture, Color, and Exterior Appurtenances**

Pueblo County Code - Title 17

Set Backs: General - based on zoning

17.24.090. (Front yard) Except as provided in 17.120.020. Buildings shall be set back not less than **twenty-five (25) feet from the front property line**

17.24.100. (Side yard) A principal structure shall provide **total side yards of not less than fifteen (15) feet with not less than five (5) feet on one side**, and, except as provided in Section 17.120.020, an accessory building shall be set back from the side lot line **at least five (5) feet**.

17.24.110. (Rear yard). A principal structure shall be **set back at least fifteen (15) feet from a rear lot line**, and except as provided in Section 17.120.020, an accessory building shall be **set back from a rear lot line at least five (5) feet**.

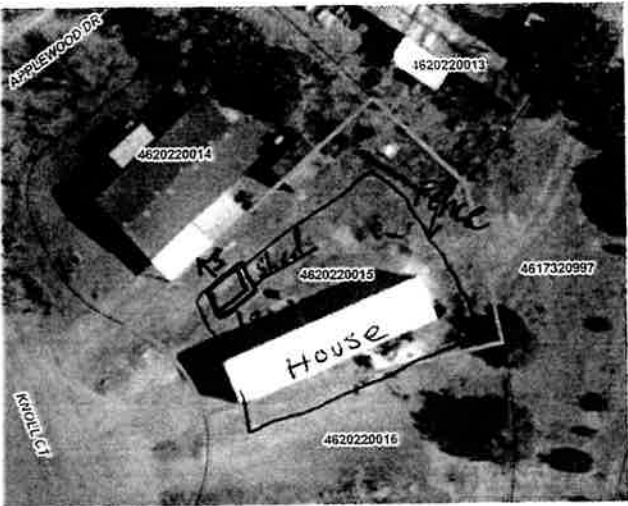
Note: Section 17.120 covers 'Supplementary Regulations' and references **Agricultural One, Two, Three and Four Zone Districts**.

Parcel 46-202-20-015

Owners
WOMACK SAMUEL JAMES LOCHHEAD
WOMACK WELEIGHT SKYE GRAY
PO BOX 19899
COLORADO CITY, CO 81019

Parcel Summary

Location 2956 KNOLL CT
COLORADO CITY, CO 81019
Use Code RE-RES: Real Estate-Residential
Tax District 70L: 70L
Mill Levy 112.287800
Acreage 0.211
Neighborhood 210-2 Colo City - Area 2



Legal Description
LOT 17 UNIT 20 COLO CITY

Current Values

STANDARD	2026
Total Building Value	\$118,759
Total Extra Features Value	\$0
Total Land Value	\$25,000
Full Market Value	\$143,759
Exempt Value	\$14,376
Taxable Value	\$129,383
Assessed Value	\$8,798
School Assessed Value	\$10,135

Value History

	2025	2024	2023	2022	2021	2020
Total Building Value	\$118,759	\$0	\$0	\$0	\$0	\$0
Total Extra Features Value	\$0	\$0	\$0	\$0	\$0	\$0
Total Land Value	\$25,000	\$25,750	\$25,750	\$21,000	\$10,000	\$5,000
Full Market Value	\$143,759	\$25,750	\$25,750	\$21,000	\$10,000	\$5,000
Exempt Value	\$0	\$10,825	\$10,825	\$0	\$0	\$0
Taxable Value	\$143,759	\$14,925	\$14,925	\$21,000	\$10,000	\$5,000
Assessed Value	\$8,980	\$1,000	\$1,000	\$1,460	\$880	\$0
School Assessed Value	\$10,130					

Document/Transfer/Sales History

Official Record	Date	Type	V/I	Sale Price	Ownership
2348914	2024-08-01	SPECIAL WARRANTY DEED-JT	Vacant	\$146,200	Grantor: SCHMIDT KATHLEEN / SCHMIDT STEVEN Grantee: WOMACK SAMUEL JAMES LOCHHEAD, WOMACK WELEIGHT SKYE GRAY
2231184	2021-05-24	QUIT CLAIM DEED ~JT	Vacant	\$5,500	Grantor: COLORADO CITY METRO DISTRICT Grantee: SCHMIDT KATHLEEN / SCHMIDT STEVEN

Buildings

Building # 1, Section # 1, Main Home, Single-Family Residence, Manufactured House

Type	Model	Heated Sq Ft	Yr Blt	EFY	Code	Description
RES	001	1216	2001	2001	1212	SINGLE FAMILY RES

Components

Code	Description	
108	Frame, Siding, Wood	100%
208	Composition Shingle	100%
309	Forced Air Furnace	100%
402	Automatic Floor Cover Allowance	
601	Plumbing Fixtures	13.00
903	Wood Deck	32.00

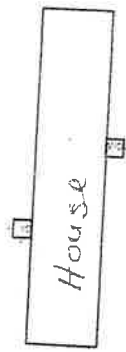
Structural Elements

Type	Description	Qty
BED	Bedrooms	3.00
BTHF	Bath-Full	2.00

Sub Areas

Type	Gross Area	Percent of Base	Adjusted Area
MBH	1,216	100%	1,216

Main Home



Land Lines

Code	Description	Zone	Front	Depth	Units	Unit Type	Acreage
1112	SING FAM RES LAND				1.00	PLT	0.21

Notices of Value

2025
2023
2022

Disclaimer

All parcel data on this page is for use by the Pueblo County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Pueblo County Assessor's Office as of July 22, 2026.

Digital Accessibility Accommodation Statement

If you are unable to access any of the content on this site, Please consult the county's accessibility statement

Pueblo County Courthouse

215 W. 10th Street • Pueblo, Colorado 81003
Phone: 719-583-6000



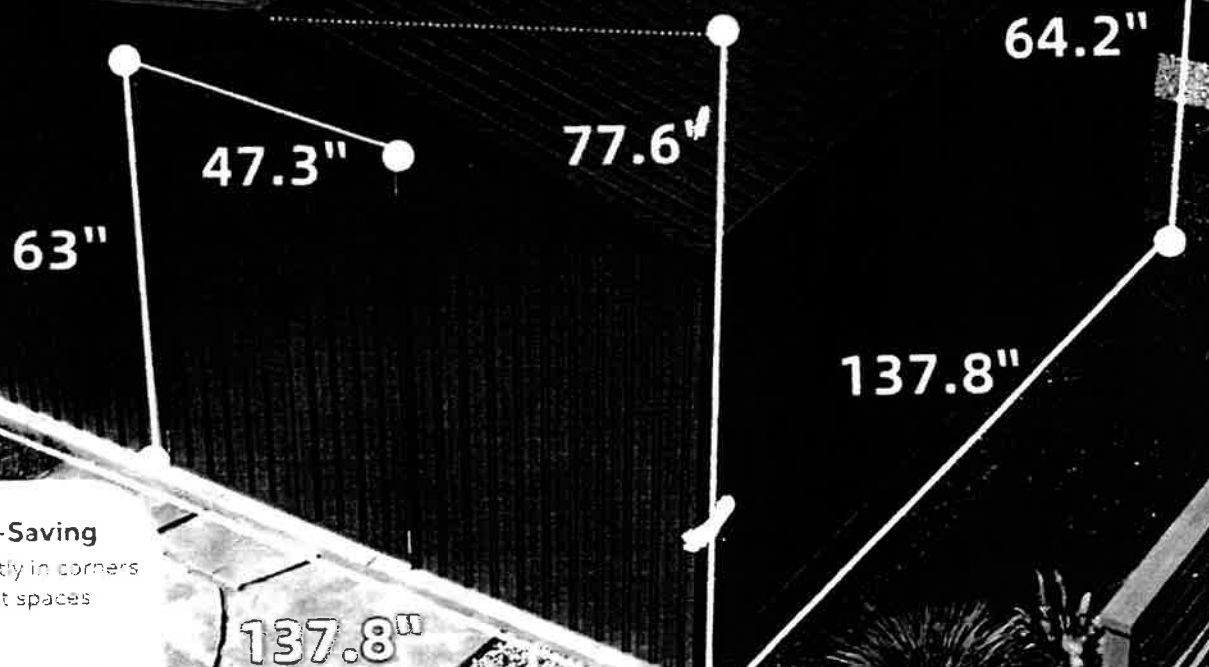
©2019 Pueblo County, Colorado

Services

Compact Footprint, Massive Capacity

Perfect for large yards & patios

ONLY
12'x12'
footprint



Space-Saving

Fits neatly in corners
and tight spaces



Durable Build

Galvanized steel
for long-lasting use



Secure Storage

Lockable doors
for peace of mind

gray shed



Colorado City Metro District - CCMD

PayPort Online Service

Order #275250444 Details

Order Info

Order Status	Captured
--------------	----------

Order ID	275250444
----------	-----------

Order Date	07/23/2026 10:22:06 AM
------------	------------------------

Payment Method	CREDIT_CARD_PRESENT
----------------	---------------------

Cashier Username	randerson2
------------------	------------

Service Code	CCMD-001-GNRL-OTC
--------------	-------------------

Customer Info

Name	SAMUEL WOMACK
------	---------------

Phone Number	7193674682
--------------	------------

Email Address	
---------------	--

Address

Frontdesk payments received Purchase Info

Account Number if Applicable	Billing or Customer Name	Type of Payment Received	Item Description	Item Amount
00000	SAMUEL WOMACK	Miscellaneous Charges	Colorado City Metro District Payment	\$40.00

Totals Info

Total Item Amount

\$40.00

Fee Amount

\$1.67

Total Order Amount

\$41.67

Run a New Report

[Return to Reports Home](#)

A 39

Inspected by: RANDY DEVENPORT

Parcel #: 4713109231

Phone 719 432-7474

Garage _____ Car Port _____ Shed X Driveway _____ Fence _____

Re-Model _____ Porch/Deck _____ Re-Roof _____ Landscape _____ Paint _____

Colorado City Covenants reviewed?

☒ Yes ☐ No

Question Approved

?

☒ Yes ☐ No

?

Yes No

?

☒ Yes ☐ No

?

☒ Yes ☐ No

?

Yes No

3

☒ Yes ☐ No

7

☒ Yes ☐ No

Required	Actual
----------	--------

Rear: 15 34 Pass / Fail

Information / Corrections Required For Final Approval:

(Approved / Disapproved - CCAAC Member Signature

Randy Dwyer

Additional Notes:

Colorado City Declaration of Protective Covenants:

Said Conditions: *What can be inspected.*

7. That any building erected upon any of said lots shall be approved prior to construction by an Architectural Committee appointed by Declarant, or successors appointed by them, in Pueblo, Colorado, or at such other place as may be designated by the Declarant. The Architectural Committee, in passing on any requests for approval, shall consider the **Location (setbacks), Texture, Color, and Exterior Appurtenances**

Pueblo County Code - Title 17

Set Backs: General - based on zoning

17.24.090. (Front yard) Except as provided in 17.120.020. Buildings shall be set back not less than **twenty-five (25) feet from the front property line**

17.24.100. (Side yard) A principal structure shall provide **total side yards of not less than fifteen (15) feet with not less than five (5) feet on one side**, and, except as provided in Section 17.120.020, an accessory building shall be set back from the side lot line **at least five (5) feet**.

17.24.110. (Rear yard). A principal structure shall be **set back at least fifteen (15) feet from a rear lot line**, and except as provided in Section 17.120.020, an accessory building shall be **set back from a rear lot line at least five (5) feet**.

Note: Section 17.120 covers 'Supplementary Regulations' and references **Agricultural One, Two, Three and Four Zone Districts**.

RECEIVED

JUL 21 2026

NEW Build Application

Colorado City Architectural Advisory Committee
P.O. Box 20229, Colorado City, Colorado 81019
719 676-3396 colocityccaac@colocitymdco.gov

Initial: _____

ENTERED
JUL 21 2026

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3pm on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: Shawn Shannon
Mailing Address: Po Box 753 Email: Sshannon68@gmail.com
City: Westcliffe State: CO ZIP: 81252 Telephone: 719-432-7474
Property Address: 4000 Lincoln Ct
City: Colorado City State: CO ZIP: 81019 Lot 375 Unit 9 Parcel# 4713109231

CONTRACTOR

Contractor: Self
Mailing Address _____ Email _____
City _____ State _____ Zip _____ Telephone _____ License # _____

Requested Approval for: ☐ Commercial Building ☐ Residence ☐ Garage ☒ Other Shed

Type of New Construction: ☐ Steel ☒ Wood ☐ Manufactured ☐ Other _____

Mobile Home: ☐ New ☐ Used Year Built: _____ Pueblo County Zoning Code: _____ CCMD Zoning Code: _____

Floor Area Square Footage: 144 Square Footage Required by Covenants: _____

REQUIRED ITEMS: Before CCAAC will proceed with process ALL required items must be completed!

- ☒ Approved Plot Plan Drawn to Scale (see back)
- ☒ Garages and Accessory Buildings must have distance between buildings on plot map
- ☐ City/County Approved Water and Sewage Access (New Construction) see back
- ☐ Approved Road Access to property. Pueblo County Road or CCMD Road _____
- ☒ Property Line Staked Out Corners
- ☒ Engineered Foundation Plan and Building Staked Out **Before** Excavation
- Manufactured/Modular homes **MUST** be on slab or finished concrete/block stem wall

☐ One (1) copy of Blue Print and One (1) Electronic Copy sent to colocityreception@colocitymdco.gov

☒ Elevations – Front, Back and Sides Front Door **MUST** face street of address

All roof lines **MUST** be minimum 4/12 pitch

☒ Exterior Color Scheme, Type of Siding and Roofing Materials Must be indicated

Black Shingle Roof
Gray Taupe
Stucco to match House

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property Owner's or Contractor's Signature Shawn Shannon Date 7-21-26

This application will not be accepted until you read and sign on reverse.

Property Owner/Contractor Signature: _____

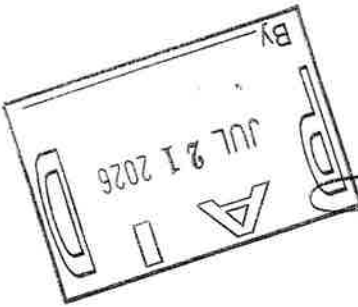
Date: 7-21-24

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

Total Fee Amount Paid: 40.00

☐	Commercial/Industrial	\$400.00
☐	Multifamily Residential	\$300.00
☐	New Single Family Residential	\$200.00
☒	Garage/Shop	\$40.00
☐	CCMD Road Access Permit	\$100.00
☐	Cistern/Septic	\$100.00
☐	Sewer Tap	\$10,000.00
☐	Water Tap	\$15,000.00



Please note that a check or money order for the appropriate amount must be included with your application

CCAAC Fee Schedule

- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.
- Construction must not commence until you have received a Letter of Approval from CCMD. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed or the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- CCAAC meets every Thursday. After reviewing plans and specifications, CCAAC may approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one {1} set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Pueblo County Planning & Zoning requires that all property changes and improvements must be recorded.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo County Planning Department.
- New Construction must purchase water, sewer and/or cistern tap within 90 days of approval. If septic and/or a cistern is being used on the building site, the Pueblo County Health Department and CCMD must approve in writing that these sources qualify under Pueblo County Health Codes.
- It is clearly understood that the granting of architectural approval does not relieve the owner or building Regulations; it is also understood that the construction shall commence within 90 days of Colorado City Metropolitan District (CCMD) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCMD approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC and CCMD. Changes must comply with covenants. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.coloradocitymd.org.

CONDITIONS APPLYING TO THIS APPLICATION

4713109224

4713109363

4713109223

Lincoln Ct

MINERAL WAY

4713109234

4713109231

4713109236

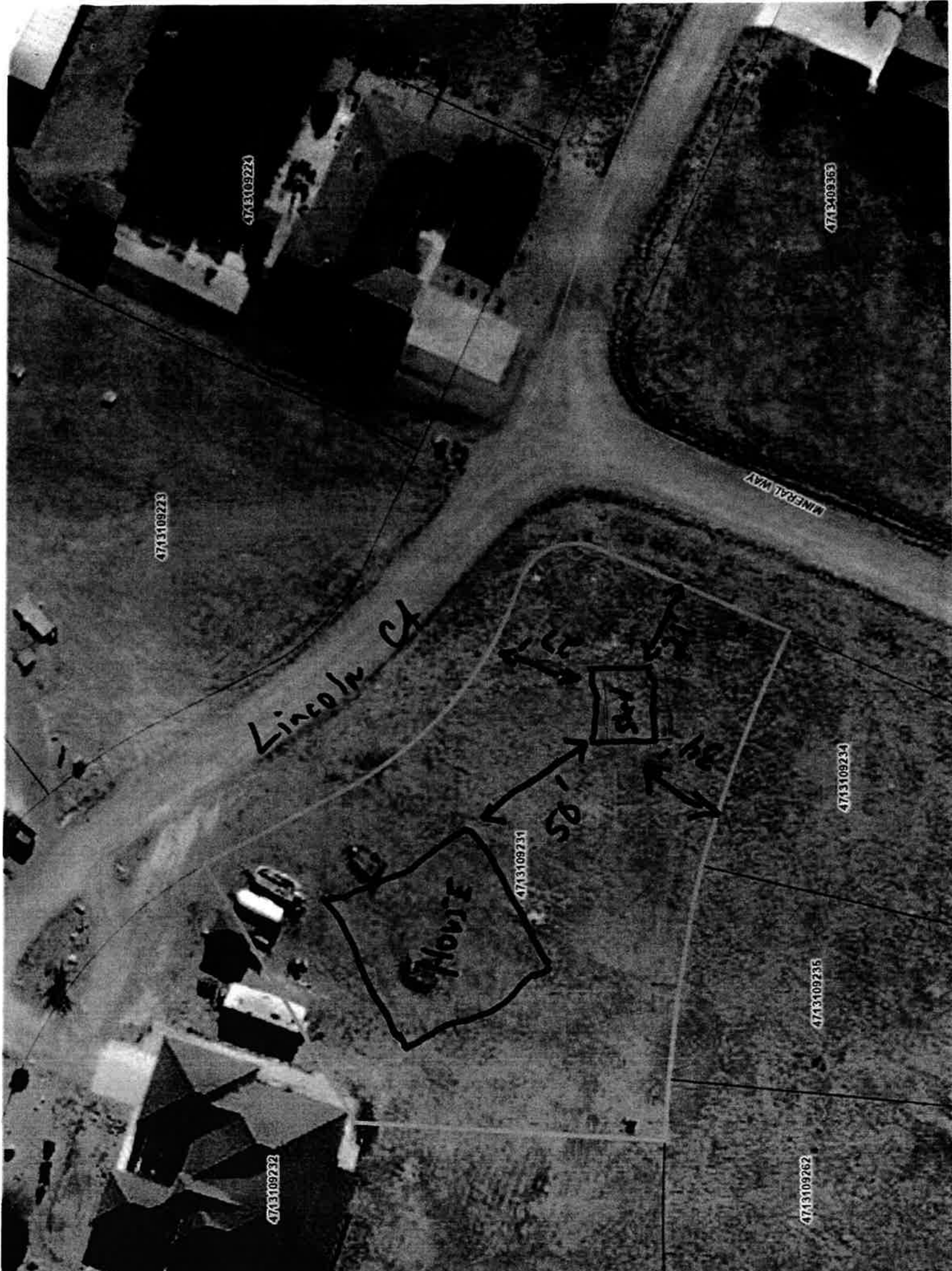
4713109262

4713109232

HOUSE

58'

gar





Date 7-15-26

NO. C-256

CCAAC Complaint Report

Disclaimer: If there is not enough information to follow up on this complaint, it may be dismissed until additional information is submitted.

Name of Complainant: Dana McCellister / Rocky DeVencenty

Telephone: 303-434-3395 Email: baltburgersandshakes@gmail.com

romans828rr@aol.com Rocky 719-250-0176

Complaint Food Trucks beside existing businesses.

Property Address _____

Parcel# 46-171-39-007 Unit 39 Lot 2 Zoning: County MN CCMD B-1

Property Owner Economic Development Properties LLC

Owner Address c/o Therese Young, Box 711, Rye, CO 81069

CCAAC Recommendation

○ No Action Explanation _____

○ Title 8 — Pueblo County Health and Safety Risk Reference _____

Explanation _____

○ Title 17 — Pueblo County Zoning Violation Reference UDC 17.03.040 Food Trucks

Explanation List 1 through 4

○ Colorado City - Covenant Violation Reference Unit 39

Explanation Said Conditions ^{1,2,6,7} - Immediately remove the Red Food truck for you have not complied with Metro District Covenants or the Count UDC's

CCAAC Response Recommendation _____

Colorado City Metro Board Action

Date _____

○ Action Approved as Recommended

○ Action Altered or Denied

Explanation _____

○ Action tabled for further investigation

Explanation _____



**COLORADO CITY METROPOLITAN DISTRICT
PUBLIC NOTICE
BOARD OF DIRECTORS STUDY SESSION**

A study session for the Board of Directors of the Colorado City Metropolitan District will be held Tuesday June 23, 2026, beginning at 6:00 p.m.

1. Intern update interviews 7/16/26: Gary and Jim worked through questions. Gary will be doing the interviews as Jim will be on vacation. Hopefully Mr. Ayoub can be there as well.
2. Smoke Testing: Starting at the end of July around the sewer plant and Colorado will be first in zones. We will send out letters and hang them on their doors with instructions. Also, it will be posted on Facebook, the Sheriff dept, Ross with the Fire Station, and in the Community paper.
3. Leak Test for Lagoon: This was an enforcement order. They say our lagoon liner is compromised. Survey on the lagoon is approximately \$18,000 or drill holes and mitigate. After we meet the standards, they will approve.
4. Reminder of USDA 6/24/26 tomorrow 11am: Presentation tied in with a public announcement with the fire dept regarding the Applewood fire.
Dutch lunch will be provided after the presentation.
Donations for the fire victims will be monitored at the Bank of San Juans and split evenly amongst the victims.
Jim also stated that he would like the Board of Directors to approve a donation from us.
5. CCAAC Review: One new build at 4580 E. Jefferson. Mr. Sievert questioned it for not having a foundation plan. Jim responded that stick builds are automatic and that they go through Pueblo Building.
6. READING BY CHAIRPERSON OF THE STATEMENT OF CONDUCT AND DEMEANOR:
7. CITIZENS INPUT: Phil Sanz and his wife are present with concerns that they feel harassed by neighbors, Metro, and Sheriffs. Every move he seems to make the neighbors are involved and he is being checked on.
Jim responded that when a complaint comes into the office it is our duty to follow up on it to see if it is a valid complaint or not. The Metro is in no way harassing them and are pleased with the family and the upkeep of property. He is in no way non-compliant, and it sounds like with his neighbors that this is more of a civil matter. The best we can do is he can put a complaint in, and we will follow up on it.

BOARD OF DIRECTORS REGULAR MEETING

A regular meeting of the Board of Directors of the Colorado City Metropolitan District will be held on Tuesday June 23, 2026, beginning at 6:15 p.m.

1. **CALL TO ORDER:** Chairman Elliot called the meeting to order at 6:55 pm.

2. **PLEDGE OF ALLEGIANCE:**

3. **MOMENT OF SILENT REFLECTION:**

4. **QUORUM CHECK:** Chairperson Neill Elliot
Board Member: Greg Bailey
Board Member: Bob Sievert
Board Member: Karim Ayoub - Excused
Board Member: Ray Davis

Also in Attendance:
Jim Eccher, District Manager
Cristy Adams, Finance Manager
Roberta Anderson, A/R Reception

5. **APPROVAL OF AGENDA:** Mr. Davis makes a motion to approve the agenda, 7 letters CCAAC for information only, and to add the donation vote for Applewood Fire victims, Mr. Sievert 2nd the motion, Chairman Elliot calls the vote, all Board Members are in favor.

6. **APPROVAL OF MINUTES:** Mr. Sievert makes a motion to approve the minutes, Mr. Bailey 2nd the motion, Chairman Elliot calls the vote; all Board Members are in favor.

Study Meeting Minutes June 9, 2026
CCACC Meeting Minutes June 9, 2026

7. **BILLS PAYABLE:** Mr. Davis makes a motion to pay the bills, Mr. Bailey 2nd the motion, Mr. Bailey-yes, Mr. Davis-yes, Mr. Sievert-yes, Chairman Elliot-yes.
Neil asked if there was a change in front of the bills, Cristy responded checks were voided and Reissued.
Neil also asked about a pressure washer gun.

8. **FINANCIAL REPORT:** Mr. Davis questioned Fund 19, It is a combined cash fund. Neil asked about the amount billed amount. Jim stated the meter turned over gallons produced last month.

10 OPERATIONAL REPORTS:

- a. Beckwith Dam report: Lake Beckwith measurements are staying consistent at 11.5
 - b. Committee Reports: Wilson minutes for May / Newsletter April Karim
- Gary lost about 60,000 in tanks during the Applewood fire. 50,000 out of raw water for the tankers.
Josh and his crew have been cutting down trees.
Standpipe is slightly off.
The minutes for the last 2 meetings with Wilson are enclosed in your packets.
Josh from Colorado Rural is coming on Thursday. Water resilience grant. Nate will be present.

11. **ATTORNEYS REPORT:** N/A

12. **AGENDA ITEMS:** Mr. Davis makes a motion to approve the agenda items, Mr. Sievert 2nd the motion, Mr. Sievert-yes, Mr. Davis-yes, Mr. Bailey-yes, Chair-yes

Jesik Proposal for Lagoon testing	Discussion/Action
This is to hopefully stop the state from causing us more money.	

The board was asked to donate \$500 to the Bank of San Juans for the Applewood fire victims.
Mr. Davis makes a motion to approve, Mr. Bailey 2nd the motion, Mr. Bailey-yes, Mr. Sievert-yes, Mr. Davis-yes, Chair-yes

7 2nd letters are informational only

13. OLD BUSINESS:

Goals and achievement Plan/ Strategic plan/ Ranch Water/Rosemont And Camelot/Meter Changeout/Water loss/Water Survey and Leak Detection/Meter Towers
We continue to move forward.
2 New meters placed
It has been hard to get our guys together with Tye.
Chairman Elliot has not made any progress on the towers.

14. NEW BUSINESS:

Mr. Davis states he is impressed with the standpipe in Walsenburg. He has issues with people that bring up their tank for water. That it is unfair to the people that bought taps. Jim stated that has all been taken into consideration but that it is equitable.
Will investigate a new system after we get through our other projects. Mr. Davis states we are supplying extra tutorial areas and going against our own rules.

15. CCACC:

A. CCACC:

1. 4580 East Jefferson House

Mr. Davis makes a motion to approve the new house, Mr. Bailey 2nd the motion, Mr. Bailey-yes, Mr. Davis-yes, Mr. Sievert-yes, chair-yes.

B. Actions

- a. 0 First Letters
- b. 7 Second letters Informational only
- c. 0 Third letters
- d. 0 Unauthorized Structure

16. CORRESPONDENCE: N/A

17. EXECUTIVE SESSION: N/A

18. ADJOURNMENT: Mr. Davis makes a motion to adjourn, Mr. Sievert 2nd the motion, Chairman Elliot adjourns the meeting at 7:23 PM

Neil Elliot, Chairman

Attested

Greg Baily, Director

These minutes are not verbatim to the meeting and should not be considered a complete record of all discussions during the meeting. For complete proceedings and statements, please refer to the video or audio recording of the meeting.

HOLYDOT
at Colorado City
2026
May - June

- Course
 - Rain, May 1 – June 3 (3.1").
 - 3rd Moss control app on June 1st
 - 16 and 18 greens fertilized at .8 lbs N/1000 sq ft on June 1st (to heal in moss, these are our worst greens affected).
 - Irrigation operating and adjusted as needed.
 - Irrigation repair and adjustment, on going.
 - Front nine irrigation repair and maintenance (on going).
 - South driving range growing in nice> its been mowed 3 times and herbicide applied to kill broad leaf weeds.

July 2026 Parks and Rec Operational Report

Sports

We were able to get a couple weeks of baseball practices in and one week of games before the fire began. Even though Colorado City opened up we couldn't resume normal scheduling for baseball as many of our coaches and players live in Rye and were still unable to return home. Shenandoah is currently working with coaches to put together a condensed schedule to finish the baseball season. Fall soccer registration is scheduled to begin July 31st. We started an adult softball league and had one evening of games before the fire started. We will revisit starting up again as we return to normal operations and figure out field use.

Park

During evacuation and power outage, the ball fields began to dry and yellow quickly. With limited water, we are working to keep enough moisture on the fields to keep them from dying. We had a lot of sediment that ended up in the irrigation system. We replaced heads on multiple zones to ensure the system is running as efficiently as possible. Power was restored to the ball field before the rec center area so I moved my computer to the shop at the park and setup a temporary office to be able to function somewhat normally.

Pool

The pool was without power for almost a week. During that time the chlorine levels depleted and the water started to get cloudy. I made a cal-hypo slurry to shock the pool and restarted the pumps as soon as power came back on. The chlorine level was raised to 10ppm to disinfect the water. The water was crystal clear in a couple days and we used a chlorine stabilizer to bring the chlorine level back within range to allow swimmers to return to the water. We were able to reopen on July 14th with normal business hours. I hauled the concession stand freezer to a different location before the power went out and was able to save the freezer full of ice cream. Amy did an amazing job working with the pool employees to make schedule adjustments and reschedule our second session of swim lessons, originally scheduled for the beginning of July. Lessons started on July 20th and we gave refunds for those that the reschedule dates did not work for. We still had over 20 participants in each time slot.

Campground

The campground became a drop point for fire crews. They use the area to find some shade and relax between assignments. We shut down future reservations at the beginning of July and are navigating through refunding all of the affected reservations due to the evacuation order. We have a family that rents the campground every year for a reunion. We were able to let them use the campground as the evacuation orders were lifted. We also had some evacuees from Rye utilize the campground when possible and did not charge for any nights stayed. Once we get all of the refunds taken care of, we will open at least a portion of the campground to reservations.

2026 Lake Beckwith Measurement for weekly report

[illegible]

[illegible]

Perometer Readings for 2026

Date	P 1/2	P/3	P/4	P/5	P/6	P/11	P/12	lake level		Inspector
1/5/2026	Dry	Void	18	22.7	23.9	Void	22.1	13.8		HH
1/14/2026	Dry 17.2	Void	18.1	22.7	25	Void	21.8	14		HH
1/22/2026	17.1	Void	17.9	22.7	24.8	Void	21.9	14		HH
1/30/2026	17.4	Void	18.2	22.9	29	void	21.8	14		HH
2/3/2026	17.4	Void	18.1	22.4	29.1	Void	21.5	14		HH
2/9/2026	17.2	Void	18.2	21.7	29	Void	21.3	14.2		HH
2/19/2026	17.3	void	18.2	21.6	29	Void	21.3	14.5		HH
2/26//2026	17.3	Void	18.1	21.5	29	Void	21.3	14.5		HH
3/3/2026	17.3	Void	18.1	21.5	29	Void	21.2	14.5		HH
3/9/2026	17.1	Void	18.3	19.8	26.7	Void	21	14.8		HH
3/18/2026	17.1	Void	18.3	19.7	24.6	Void	21	14.8		HH
3/23/2026	17.1	Void	18.2	19.7	24.5	Void	21.1	14.9		HH
3/30/2026	17.1	Void	18.2	19.6	24.5	Void	21	14.5		HH
4/8/2026	17.1	Void	18.1	19.7	24.6	Void	21	14.8		HH
4/15/2026	17.3	Void	18.5	20.7	24.6	Void	22	14		HH/MP
4/24/2026	17.3	Void	18.5	20.8	24.6	Void	22	14		HH
4/27/2026	17.3	Void	18.5	20.7	24.5	Void	22	13.5		HH
5/8/2026	17.4	Void	18.5	20.7	24.6	Void	22.1	13		HH
5/12/2026	17.3	Void	18.5	20.6	24.5	Void	22	12.5		HH
5/22/2026	17.3	Void	18.5	20.6	24.5	void	22	13		HH
5/26/2026	17.3	Void	18.4	20.7	24.5	Void	22	13		HH
6/3/2026	17.4	void	18.6	20.7	24.6	Void	22	13		HH
6/8/2026	17.4	Void	18.5	20.7	24.7	Void	22.1	12.5		HH
6/15/2026	17.9	Void	18.6	20.8	24.6	Void	22.1	12		HH

[illegible]

Fires and Help

From Geraldine Roque <GRoque@pueblo.us>

Date Wed 7/22/2026 9:28 AM

To colocitymanager <colocitymanager@colocitymdco.gov>

Good Morning

I live in Colorado City at 5202 Cuerno Verde Blvd and I would like to respectfully request to honor our Director Andrew Hayes from the City Of Pueblo to be honored for all of his help that he provided for Colorado City and Rye as well as Beulah by getting generators, getting the pumps going helping with the water tanks and the list goes on.

I feel as a resident and a worker for the City that Colorado City Metro District should give him a plaque or some type of acknowledgement for all of his hard work for both fires the one at Apple Wood he was there with water trucks and helping getting the pumps working and also this most recent fire. I believe if it wouldn't have been for this man going and getting generators from Denver to help with the pumps I would have lost my home as well as others.

If you would like to call me please do. I can make the list longer for what he did and I know there is many more people who helped as well from many other districts and cities.

Please let me know if I can do anything further.

Respectfully,

Geri Roque



*Geri Roque, FMP
Asset Coordinator
City of Pueblo Public Works Dept
211 E "D" Street
Pueblo, CO 81003
Phone: 719-553-2276
Email: groque@pueblo.us*

[choose Pueblo, Click here!](#)

This e-mail transmission (including any attachments) contains information that is confidential and may be legally privileged. It is intended for the use of the addressee only. If you received this e-mail in error, we request that you contact us immediately by telephone or return e-mail, and that you delete this message from your computer. If you are not the intended recipient, please be advised that any dissemination, distribution, or copying of this e-mail is strictly prohibited. [CoP]

