



**COLORADO CITY METROPOLITAN DISTRICT
PUBLIC NOTICE
BOARD OF DIRECTORS STUDY SESSION**

A study session for the Board of Directors of the Colorado City Metropolitan District will be held Tuesday May 26, 2026, beginning at 6:00 p.m.

1. Wilson Task contract for Beckwith Dam
2. Road Access update
3. CCAAC Review:
4. READING BY CHAIRPERSON OF THE STATEMENT OF CONDUCT AND DEMEANOR:
5. CITIZENS INPUT:

BOARD OF DIRECTORS REGULAR MEETING

A regular meeting of the Board of Directors of the Colorado City Metropolitan District will be held on Tuesday May 26, 2026, beginning at 6:15 p.m.

1. **CALL TO ORDER:**
2. **PLEDGE OF ALLEGIANCE:**
3. **MOMENT OF SILENT REFLECTION:**
4. **QUORUM CHECK:**
5. **APPROVAL OF AGENDA:**
6. **APPROVAL OF MINUTES:**
7. **BILLS PAYABLE:**
8. **FINANCIAL REPORT:**
10. **OPERATIONAL REPORTS:**
 - a. Beckwith Dam report:
 - b. Committee Reports: Newsletter April Greg
11. **ATTORNEYS REPORT:**
12. **AGENDA ITEMS:**

| | |
|-----------------------------|--------------------------|
| Wilson Task Contract | Discussion/Action |
|-----------------------------|--------------------------|

**Study Meeting Minutes May 12, 2026
CCACC Meeting Minutes May 12, 2026**

13. OLD BUSINESS:

Goals and achievement Plan/ Strategic plan/ Ranch Water/Rosemont And Camelot/Meter Changeout/Water loss/
Water Survey and Leak Detection/Meter Towers

14. NEW BUSINESS:

15. CCACC:

A. CCACC:

- | | |
|------------------------|------------|
| 1. 5084 Isabella Drive | House |
| 2. 5181 Cibola Drive | Deck cover |
| 3. 6930 Terlesa Drive | Garage |

B. Actions

- a. 2 First Letters
- b. 0 Second letters
- c. 0 Third letters
- d. 0 Unauthorized Structure

16. CORRESPONDENCE.

17. EXECUTIVE SESSION: State Statue 24-6-402(4)(e) C.S.S Determining positions relative to matters that may be subject to negotiations, developing strategy for negotiations, and instructing negotiators. This would be the review of County commissioners and County Assessor over land values within Colorado City property taxation.

18. ADJOURNMENT.

Posted May 22, 2026

James Eccher is inviting you to a scheduled Zoom meeting.

Topic: Colorado City Metropolitan District Study/Meeting May 26 2026

Time: May 26, 2026 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/85786435686?pwd=wbFgJLDjUdZ8hKZ9jyEL1SVG4Zlhne.1>

Meeting chat link

<https://us02web.zoom.us/launch/jc/85786435686>

View meeting insights with Zoom AI Companion

<https://us02web.zoom.us/launch/edl?muid=708a6177-ff45-4494-9059-349ad61f2a4c>

Meeting ID: 857 8643 5686

Passcode: 928769

One tap mobile

+17193594580,,85786435686#,,,,*928769# US

+16699009128,,85786435686#,,,,*928769# US (San Jose)

Join by SIP

• 85786435686@zoomcrc.com

Join instructions

https://us02web.zoom.us/meetings/85786435686/invitations?signature=86OrIJFK5c0wT-Y5PdMA3RH7ZLjSir88oA_Hng7CVOk

**EXHIBIT A
PROJECT TASK ORDER FORM**

**Master Service Agreement between Wilson & Company, Inc., Engineers & Architects and
Colorado City Metropolitan District, dated May 12, 2026**

Consultant shall provide the Services described in each individual Task Order assigned based upon the scope of services and compensation included in the Task Order.

Project Name: Beckwith Dam Project Owners Representative
Not to Exceed Price Type: (CPFF, SRP, T&M or Lump Sum): T&M

Schedule: Start Date: 5/13/2026 Completion Date: 7/22/2026

Initial Addendum or Change Order no. (I, II or 1, 2, etc.): 01


Task and Price:

- | | | | |
|-----------|------------------------------|--------|--------------------|
| 1. Task: | <u>01 Project Initiation</u> | Price: | <u>\$75,991.00</u> |
| 2. Task: | _____ | Price: | _____ |
| 3. Task: | _____ | Price: | _____ |
| 4. Task: | _____ | Price: | _____ |
| 5. Task: | _____ | Price: | _____ |
| 6. Task: | _____ | Price: | _____ |
| 7. Task: | _____ | Price: | _____ |
| 8. Task: | _____ | Price: | _____ |
| 9. Task: | _____ | Price: | _____ |
| 10. Task: | _____ | Price: | _____ |

Totals: 1 Total Price: \$75,991.00

The signatures below signify approval of the terms and conditions of this Project Task Order and the associated scope and fee. The project described by this Project Task Order shall be governed by the terms and conditions of the Master Service Agreement stated above.

Authorized Representative of Wilson & Company, Inc., Engineers & Architects

Signature:  Date: 5/8/2026
Title: Senior Vice-President

Authorized Representative of OWNER

Signature: _____ Date: _____
Title: _____

Beckwith Dam Project Owner's Representative

Task Order # 1 – Project Initiation

May 8, 2026

This scope of services applies to the Colorado City Metro District's Beckwith Dam Improvements project.

Background Information

The Beckwith Expansion Project is a critical infrastructure initiative to enhance public services and long-term resiliency within the Colorado City Metropolitan District. The Owner's Representative team will develop a Best Value Construction RFP incorporating the Engineer of Record plans as approved by the State Dam Engineer. Upon Phase I completion, the State Dam Engineer restrictions will be lifted and CCMD will continue plans to increase Beckwith water storage height and provide a new and adjacent reservoir storing its conditional water rights. CCMD has obtained a CWCP loan of \$3.3 million and is proactively seeking additional funding for the jurisdictional Beckwith Reservoir.

An adjacent CCMD infrastructure project is the Dissolved Air Flootation (DAF) water treatment system. The DAF system upgrade is necessary to comply with an enforcement order and is funded. CCMD has secured funding for the DAF system upgrade and construction schedule may overlap with the Beckwith Expansion. The consultant may help consider funding sources relevant to each water resources project and or overlapping construction management services should this benefit CCMD as the District enhances its water resources infrastructure.

Design and Construction Guidelines

All work will conform to the applicable standards of the State Dam Engineer and responsible grant funding mechanisms including the Colorado City Metropolitan District.

- AASHTO - A Policy on Geometric Design of Highways and Streets
- Metro District Design Criteria (State Dam Engineer's office Specifications)
- Pueblo County Drainage Criteria
- Additional requirements, manuals based on funding source or CCMD direction
- FHWA Manual on Uniform Traffic Control Devices

Computer/Software Information

Wilson & Company, Inc. will use the following primary software for the preparation of the construction documents:

- MS Office 365
- MS Project
- Bluebeam

Project Design Data and Standards

The design consultant was responsible for obtaining and ensuring compliance with the most recent State adopted version of the listed references including standards and specifications, manuals, and software or as directed by the Metro District PM. Conflicts in criteria shall be resolved by the Metro District PM.

Scope of Services Task Order #1 Project Initiation

The scope of work included in this master agreement identifies a select range of services, to provide the District with preparation for future bid and contracting support needed for the project. The initial process should include District interaction with design consultant and Wilson & Company throughout the process.

Task Order #1 will provide the necessary information for CCMD and Wilson to advance the Beckwith Expansion forward to have necessary funding and approvals in place to implement improvements addressing SDE deficiencies and expand the existing embankment facilitating a desired 10' dam elevation rise. Next tasks order can include, permitting if needed, Best Value Construction RFP, continued stakeholder engagement and construction administration.

Task A – Project Management/Administration

1. Project Coordination

The routine working contact will be coordinated between the District Project Manager and the Consultant Project Manager. These project managers should communicate periodically and provide each other with synopses of their respective contacts with others, copies of pertinent written communications, and discuss pertinent District policy decisions. Phone calls and electronic mail are acceptable and encouraged formats of communication. Joint project management meetings with the Consultant team members and District team members should take place routinely.

The Consultant Project Manager will:

- Coordinate all contract activities with the District Project Manager
- Provide invoices and work status reports.
- Provide minutes of all meetings.
- Provide draft reports and submittals to District prior to their consent to being utilized in follow-up work efforts.
- Keep a current "to do" task list to track the status of major and minor tasks.

Assumption: 10-week duration for project from NTP to project completion (Task Order # 1)

2. Progress Meetings/Meeting Minutes

Progress meetings will be scheduled on a regular basis to coordinate work tasks and to resolve problems. For all meetings, the Consultant shall prepare meeting minutes and provide them to the District project Manager for review within five working days after each meeting. The minutes will be completed and provided to the District Project Manager(s) within five working days after the meeting. When a definable task is discussed during a meeting, the minutes will identify the "Action Item," the agency/person responsible for completing it, and the proposed completion date.

The following meetings are anticipated

- District management meetings
- Coordination/Progress meetings
- Contract Development meetings

Assumption: 5 meetings planned through the project (Task Order # 1), meetings to be attended virtually unless CCMD request PM attendance.

3. Status Reporting

The Consultant will prepare actual documents for District review as this is a quick timeline task. Weekly review of documents and design check mark-ups will be appropriate for this consulting service.

Assumption: Finals Review of plans and Specs due in two weeks of receiving Advertisement ready plans for Beckwith Reservoir Dam Improvements.

4. Document Control

The Consultant will establish a central facility for document control, designing and maintaining an archival system suitable for rapid retrieval of information, and eventual permanent project documentation.

Assumption: 10-weeks duration for Document Control needs. This will include Plans, SDE correspondence, meeting agendas and minutes, reports, and permits.

Task B – Plan Review and Pre-Construction Services

Wilson & Company will provide technical review of the construction plan package and pre-construction services to support the CCMD team advancing the project to construction.

1. **Data Collection:** The Wilson team will request and compile the relevant documents for the Beckwith Dam Repair. This includes the 100% plans, Specifications, Reports (geo-tech, drainage, Preliminary Design Report), State Dam Engineer correspondence, and funding applications.

2. **Document Review:** the Wilson team will review the documents that have been compiled and provide comments to the CCMD team. The review will be focused on completeness of the construction plan package for compliance with the State Dam Engineer comments and requirements.
3. **Cost Estimate Review:** The Wilson team will review the cost estimate prepared by the design consultant for completeness and reasonableness. Comments will be provided to the CCMD team.
4. **Permitting Review:** The Wilson team will review permitting requirements for the project and provide guidance on the permits that will be required for construction. The team will review the status of current permits and provide recommendations on the party responsible for obtaining the required permits.
5. **Value Engineering Assessment:** The Wilson team will review the project documents for potential value engineering items that could reduce project costs or improve constructability. Any items that are identified will be provided to the CCMD team and design consultant for consideration.

Task C – Grant Research and Acquisition

Wilson team will research and develop a list of available funding sources, the schedule of funding opportunities, likely success and its timing.

1. **Review Current Grant Applications:** Review current grant applications and awards and prepare a summary for review. This will help determine potential funding sources and potential of success with new grant applications.
2. **Identify new grant opportunities:** Wilson team will review several sources of grants and develop a listing of available grants that the Beckwith project would be eligible for. This information will be reviewed with the CCMD team to prioritize grant opportunities.
3. **Review OPCC:** Review OPCC as it relates to available funding sources. The Wilson team will review the OPCC that has been prepared by others and provide comments to the CCMD team. We will use the OPCC to determine grant eligibility as well funding match requirements.
4. **Initial Grant Development:** Once we have identified the grants that we will be pursuing the Wilson team will start compiling the data and information needed to develop the grants.

Based on this information the Wilson team will develop a level of effort for grant preparation for review by CCMD. Upon review a new task order to complete and submit the agreed to grant applications will be executed with CCMD.

Exclusions

Wilson & Company, Inc. and its project partners are available to provide additional services as determined by the District as the project progress. These services can be negotiated as a contract amendment. Other services may include, but are not limited to:

- Environmental Assessment development
- Bidding document Preparation and Support
- Construction Administration Services
- As-Built Drawings

Beckwith Dam Project Owners Rep- Task Order # 1 - Project Initiation

| Engineering Estimate Summary Form | | | | | | |
|--|--------|--|----------|--------------|--------------------|---------|
| Company Wilson & Company | | Estimated By DMW | Date | Rev 0 | Sht 1 | of 3 |
| Project Description PM/Adminstration, Plan & Reports Review, Grant Review & Application | | | | Project Type | | |
| Hours and Labor Charges | | | | | | |
| Item | Code | Personnel Category | Rate | Hours | Salary Labor | |
| 1 | PM | Project Manager | \$244.00 | 62 | \$15,128.00 | |
| 2 | CM | Construction Manager XVIII | \$244.00 | 37 | \$9,028.00 | |
| 3 | CM X | Construction Manager X | \$163.00 | 25 | \$4,075.00 | |
| 4 | DDL | Drainage Design Lead / Dam Permits XIX | \$244.00 | 60 | \$14,640.00 | |
| 5 | DDL VI | Drainage Design Lead/Dam Permits VI | \$234.00 | 27 | \$6,318.00 | |
| 6 | ENV | Environmental Lead | \$193.00 | 14 | \$2,702.00 | |
| 7 | LGW | Roadway Design Lead / Grant Writer | \$127.00 | 50 | \$6,350.00 | |
| 17 | ADM | Project Assistant | \$163.00 | 10 | \$1,630.00 | |
| 18 | CI | Construction Inspector | \$0.00 | 0 | \$0.00 | |
| Subtotals | | | | 285 | \$59,871.00 | |
| Multiplier | | | | | 1.00 | |
| subtotal (Labor Cost) | | | | | \$59,871.00 | |
| Other Direct Cost (ODC) | | | | | | |
| Travel and Living | | | | | \$640.00 | |
| Errata | | | | | \$0.00 | |
| Composite Rate | | | | | \$0.00 | |
| \$210.07 | | | | | \$0.00 | |
| ODC Rate | | | | | \$0.00 | |
| \$2.25 | | | | | \$0.00 | |
| Doc Count | | | | | \$0.00 | |
| 0 | | | | | \$0.00 | |
| Hours / Document | | | | | \$0.00 | |
| #DIV/0! | | | | | \$0.00 | |
| subtotal (ODC Cost) | | | | | \$640.00 | |
| subtotal (Vendor Cost) | | | | | \$15,480.00 | |
| TOTAL COST | | | | | \$75,991.00 | |

Estimate ODC/Vendor Detail Sheet

| | | | | | |
|---|--------------|------------------|----------|-----------------|---------|
| Company Wilson & Company | Estimated By | Date 1/0/1900 | Rev 0 | Sht 3 | of 3 |
| Task Description PM/Adminstration, Plan & Reports Review, Grant Review & Application | | | | Discipline 0 | |

Other Direct Expenses

| Description | Unit cost | Quantity | Additional Lump Sum Cost | Subtotals |
|---|----------------------------------|-----------|--------------------------|--------------------|
| Mileage @ | \$0.80 per mile | 800 miles | | \$640.00 |
| Plane tickets @ | per trip | trips | | \$0.00 |
| Hotel @ | per night | nights | | \$0.00 |
| Meals | per day | days | | \$0.00 |
| Tolls and Parking | per day | days | Lump Sum | \$0.00 |
| Per Diem | Per Week | Weeks | | \$0.00 |
| Temp Housing | Per Month | Months | | \$0.00 |
| Relocation | Each | | | \$0.00 |
| Rental Car | per day | days | | \$0.00 |
| Other | | | | \$0.00 |
| Subtotal Travel | | | | \$640.00 |
| Telephone | Per Month | Months | | \$0.00 |
| Express mail | Per Month | Months | | \$0.00 |
| Postage/Freight | Per Month | Months | | \$0.00 |
| Other | | | | \$0.00 |
| Subtotal Communications/Shipping | | | | \$0.00 |
| Space Rental | Per Month | Months | | \$0.00 |
| Utilities | Per Month | | | \$0.00 |
| Supplies | Per MH | | | \$0.00 |
| Furniture | | | Lump Sum | \$0.00 |
| Equipment Rental | Per Month | Months | | \$0.00 |
| Mobilization/Demobilization | | | Lump Sum | \$0.00 |
| Maintenance | Per Month | Months | | \$0.00 |
| Other | | | | \$0.00 |
| Subtotal Project Office | | | | \$0.00 |
| CADD time | Per Hour | Hours | | \$0.00 |
| Personal Computers | Each | | | \$0.00 |
| CAD Software | Each | | | \$0.00 |
| Other Software | Each | | | \$0.00 |
| Printers | Each | | | \$0.00 |
| Other | Each | | | \$0.00 |
| Subtotal CAD /Computer | | | | \$0.00 |
| Plotting | per foot | plots | | \$0.00 |
| Reproductions, 8 1/2x11 @ | per copy | copies | | \$0.00 |
| Reproductions, 11x17 @ | per copy | copies | | \$0.00 |
| Reproductions, Drawings @ | per copy | copies | | \$0.00 |
| Outside Reproduction | per set | | | \$0.00 |
| Covers & Tabs | | | | \$0.00 |
| Subtotal Reproduction | | | | \$0.00 |
| UCS | each | Locates | | \$0.00 |
| GPS | per day | | | \$0.00 |
| Miscellaneous | per Each | Stakes | | \$0.00 |
| | | | | \$0.00 |
| Sub Total Other | | | | \$0.00 |
| Sub Total Direct Expenses | | | | \$640.00 |
| Vendors / Professional Services | | | | |
| Name | Description of work | | | Amount |
| Vivid Engineering Group | Plan/Report and Document reivews | | | \$15,480.00 |
| | | | | |
| | | | | |
| | | | | |
| Total for Vendors | | | | \$15,480.00 |

Colorado City Metropolitan District - Roadway Access

7.1 Authority

Pursuant to Section 43-2-147(1), C.R.S., local governments (including Metropolitan districts) are authorized to regulate vehicular access to and from any public roadway under their respective jurisdiction from or to property adjoining the roadway and 32-1-1004(2)(f) which authorizes metropolitan districts to provide street improvement services.

7.2 Purpose

It is the purpose of this section to provide the procedures and standards necessary to protect the public health, safety and welfare, to maintain smooth traffic flow, to maintain proper roadway drainage and to protect the functional level of the CCMD road system while meeting state, regional, local and private transportation needs and interests.

7.3 Implementation

No person shall construct any access providing direct movement to or from any Pueblo CCMD maintained roadway to or from property adjoining the roadway without an approved access permit issued by the Colorado City Metro District, through the proper procedure in the OpenGov platform of Pueblo County.

Access permits shall be issued only in compliance with this Article. In no event shall an access be allowed or permitted if it is detrimental to public health, safety or welfare.

7.4 Application for a Permit and Issuance of Permits

7.4.1 Persons wishing to apply for direct access to a CCMD roadway shall apply to the on a standard form provided by the CCMD. In addition to the form, the the Metropolitan District may require any or all of the following items:

- a. Site plan showing location of proposed access and proposed improvements. Plan shall show any existing access.
- b. Roadway and driveway plan and profile.
- c. Drainage plan of the site demonstrating mitigation of impact to the CCMD roadway and drainage system.

d. Any proposed improvements, modifications or structures within the CCMD right-of-way in the form of a CAD drawing in PDF format.

e. Information related to traffic demand (Not needed for single family residential)

f. Traffic impact study (Not required for single family residential or multi-family properties of less than 10 units.)

7.4.2 Upon receiving a complete application for an access permit, the Metropolitan District staff or appointed representative shall inspect the site and inform the applicant of the site-specific requirements for construction of the access. Such requirements may include, but are not limited to, surface treatment of driveway, culvert or other drainage structures, width of access, access flares with pre-determined radii, rock or dirt abatement measures such as FOD pads and temporary traffic control implements as per MUTCD standards

7.4.3 The Applicant may request, from CCMD through the OpenGov portal, the issuance of a Temporary Access Permit for use during construction activities. The applicant shall submit, as part of their Temporary Access Permit Application, a drawing detailing the requested temporary access. said the Permitted Temporary Access may only be used until the a Permanent Access is constructed and approved by Pueblo CCMD. The Temporary Access Permit will expire upon completion of construction activities on the site, upon approval of a permanent access permit, or in one year from issuance, whichever occurs first. CCMD, at its sole discretion, may require design plans and/or improvements associated with the construction of new features to the roadway, in order for the Temporary Access to be granted. A Temporary Access Permit shall not be considered a valid Access Permit to satisfy the pre-requisites to obtain a Certificate of Occupancy from the County Building department.

7.4.4 The access permit will not be finalized nor issued to the applicant until construction of the access has been completed in accordance with the specifications of this Article and in compliance with the site-specific requirements as determined by the Metropolitan District staff or appointed representative, after field inspection.

7.4.5 If construction of an access does not commence within 1 year of the date of application, or two weeks from given Access Construction Start Notice, the application will become null and void. Re-application will be required. Additional time may be granted upon request of the applicant in writing.

7.5 Access Control Standards

It is the policy of Pueblo CCMD that private direct access to the public road system will be provided by way of the lowest classified road possible. All roads shall be classified in accordance with the Pueblo County Code Title 12- Roads, Bridges and Public Places, Chapter 12.04 Roadway Design and Construction Standards Article 4- Functional Classification. For example, no private direct access shall be granted to a property from an arterial road when the property can be accessed from a collector or lower classified road. Similarly, no private direct access shall be granted to a property from a collector road when the property can be accessed from a local access road. Exceptions to this policy will be made only when it is demonstrated that a severe hardship would be caused the property owner by strict enforcement of the policy, a hardship arising from the unique circumstances or characteristics of the site. In any case, CCMD's staff will be the ultimate determinant of which access the property shall use.

7.5.1 Principal and Minor Arterials

When private direct access is allowed to an arterial road, the following restrictions shall apply:

- a) No more than one access approach shall be provided to an individual parcel or to contiguous parcels under the same ownership, unless it can be demonstrated that additional accesses would be beneficial to the safety and operation of the road system.
- b) On two lane arterials access approaches may be limited to only right-in and right-out turning movements if the access is within 500 feet of the nearest intersection.
- c) No access shall be permitted within 300 feet of a median opening unless the access is directly aligned with the median opening.
- d) No access configuration will be allowed that requires a vehicle to back out onto the roadway.

Intersections shall be spaced no less than one half mile apart on principal arterials and one quarter mile apart on minor arterials, unless such spacing is impractical or impossible due to topographic or other physical limitations.

7.5.2 Major Collectors

When private direct access is allowed to a major collector road, the following restrictions shall apply:

- a) No more than one access approach shall be provided to an individual parcel or to contiguous parcels under the same ownership, unless it can be demonstrated that additional accesses would be beneficial to the safety and operation of the road system.

b) On two lane major collectors access approaches may be limited to only right-in and right-out turning movements if the access is within 500 feet of the nearest intersection.

c) No access shall be permitted within 300 feet of a median opening unless the access is directly aligned with the median opening.

d) No access configuration will be allowed that requires a vehicle to back out onto the roadway.

Major intersections--those with another collector or higher classified road--shall be spaced no less than one quarter mile apart on major collectors, unless such spacing is impractical or impossible due to topographic or other physical limitations. Spacing of public and private local access roads shall be no less than 300 feet.

7.5.3 Minor Collectors and Local Access Roads

Intersections shall be spaced no less than 150 feet apart unless such spacing is impractical or impossible due to topographic or other physical limitations.

7.6 Construction of Access

7.6.1 The Application for an access permit shall include the expected dates of construction and use of the access. The applicant shall notify CCMD, via the OpenGov portal, at least 72 hours prior to any construction within the CCMD right-of-way.

7.6.2 Metropolitan District staff or appointed representative shall inspect the access during construction as needed and upon completion of construction to ensure that all terms and conditions of the permit are met.

7.6.3 The construction of the access and its appurtenances as required by the terms and conditions of the permit shall be completed at the sole expense of the applicant. Pueblo CCMD will not supply either materials or labor for the construction of the access and appurtenances.

7.6.4 It is the responsibility of the applicant to complete the construction of the access according to the terms and conditions of the permit. Metropolitan District staff, or appointed representative, may order a halt to any unauthorized construction or use of access.

7.6.5 All construction within the CCMD right-of-way shall be performed only by a licensed, bonded, and insured contractor, pursuant to Pueblo County's Code 12.08. Proof of insurance and a copy of the bond shall be submitted via the OpenGov Portal.

7.6.6 Adequate traffic control and construction signing in conformance with the most recent edition of the Manual on Uniform Traffic Control Devices is required at all times during construction of the access. All such traffic control and signing shall be at the applicant's expense and shall not be provided by CCMD.

7.6.7 The allowable hours of work within the CCMD right-of-way may be restricted due to peak hour traffic demands, storm water flow, or other pertinent operating restrictions.

7.6.8 All roadway access improvements including pavement, curbs, gutters, sidewalks, drainage structures, ditches and auxiliary lanes shall be within the CCMD right-of-way. Any additional right-of-way required for such improvements must be dedicated or deeded to Pueblo CCMD prior to construction beginning.

7.7 Use of Access

7.7.1 It is the responsibility of the property owner to ensure that the use of the access complies with this Article and all conditions and terms of the permit.

7.7.2 Access permits are issued for a specific use or type of service and amount of traffic. No change in the type of use or service (for instance from single family residential to commercial) may be made without the property owner applying for an amended access permit and securing approval from the Metropolitan District staff or appointed representative. Any change in the land use of the property served by the access which, or as determined by the Metropolitan District staff or appointed representative, can be reasonably expected to result in a significant change in the volume or type of traffic using the access may necessitate issuance of a new or amended access permit.

7.7.4 Any access constructed after the date of adoption of these STANDARDS, will be required to be constructed or to conform to this Article, at the property owner's expense.

7.8 Illegal Accesses

- a) Any Access installed or utilized in violation of any provision of these STANDARDS shall be considered an illegal access.

7.8.1 Policy for Correcting Illegal Accesses

If an access is determined to be an illegal access by the Metropolitan District staff or appointed representative, the Metropolitan District staff or appointed representative may install barriers across, or remove the access. When an

access is constructed in violation of this code the Metropolitan District staff or appointed representative may suspend the access permit and order the immediate closure of the access.

7.8.2 Appeals

Should an applicant object to the denial of a permit application by the Metropolitan District staff, or appointed representative, or object to any of the terms or conditions placed on the permit, the applicant or permittee have a right to appeal the decision to the Colorado City Board of Directors. To appeal the decision, submit a written request for administrative hearing to the District Manager within 30 calendar days of the notice of denial or transmittal of the permit for signature for scheduling. The request shall include reasons for the appeal and may include changes, revisions, or conditions that would be acceptable to the permittee or applicant.

7.9 Drainage

The roadway drainage system is for the protection of the CCMD roadways and rights-of-way. It is not designed or intended to serve the drainage requirements of abutting properties. Drainage to the CCMD right-of-way shall not exceed the undeveloped historical flow.

7.9.1 Drainage structures constructed as part of an access shall not restrict or obstruct the existing drainage system, and shall be in accordance with approved drainage plans or studies where applicable. Culverts shall be a minimum of 18 inches in diameter. Length, diameter, cover, type, and inlet and outlet elevation of all culverts is subject to approval of the Metropolitan District staff or appointed representative.

7.9.2 Accesses shall be constructed in such a manner that does not cause erosion and will not result in deposition of silt and debris upon the CCMD roadway. Accesses which slope down in the direction of the public road will be constructed to include suitable means to prevent water from running onto or across the traveled public way. This may include crown, borrow ditches, pans, etc. along the access sufficient to direct water to the existing drainage facilities along the public road.

7.10 Driveways

7.10.1 Geometric Standards

Driveways shall conform to the geometric standards illustrated in Appendix 1, Figures 21 through 23. Any variation from the requirements shown due to physical site restrictions or unusual circumstances must be approved by the Metropolitan District Manager or appointed representative.

7.10.2 Location

Location of driveways shall be in accordance with Figure 24 in Appendix 1

7.10.3 Miscellaneous Requirements

a. Only one residential access per lot or parcel will be allowed unless lot frontage is of sufficient width to allow a minimum spacing of 50 feet between driveways on one parcel or lot.

b. If the road which will be accessed is paved, the Applicant shall pave the full width of the driveway access from the edge of the roadway asphalt a distance toward the property line which is the largest of any of the following which apply:

1. Top of the borrow ditch bank on the property line side of the ditch.
2. Back of sidewalk.
3. High point of driveway swale on the property line side of the driveway swale.

In no case will the driveway paving extend less than 5 feet from the edge of the roadway asphalt. The minimum depth of asphalt paving shall be two lifts of two inches each of grade C or CX hot bituminous paving. The paving shall be placed on top of a minimum 6 inches of class 6 aggregate base course material which has been compacted to 95% standard Proctor density.

c. If the road which will be accessed is not paved, the driveway shall be constructed with class 6 aggregate base course material a minimum of 9 inches in depth from the edge of the road to the property line.

d. If an unlined drainage ditch exists along the road to be accessed, the Applicant must supply and install a culvert pipe in the driveway. The length and diameter of the pipe shall be as determined by the Metropolitan District staff or appointed representative, but in no case shall the pipe be smaller than 18 inches in diameter nor less than 20 feet in length. The pipe will be bedded with a minimum of 6 inches of class 6 aggregate base course material with a minimum of 1 foot of cover over the pipe, compacted to 95% standard Proctor density. A swaled access is a permissible alternative assuming all other conditions are met, at the discretion of the Metropolitan District staff or appointed representative.

e. Culvert pipes shall be given one of the following end treatments at both the inlet and outlet ends at the discretion of the Deputy Director of AES:

- * Concrete slope paving--see Figure 25 in Appendix 1.
- * Concrete headwall--see Figure 26 in Appendix 1.
- * Metal flared pipes shall be allowed on case-by-case scenarios and with the approval of Public Works.

7.11 Driveway Location Limitations

A NEW driveway access will not be allowed:

1. Within 10 feet of any commercial property line except when it is a joint-use driveway serving two abutting commercial properties and access agreements have been exchanged between, and recorded by, the two abutting property owners;
2. When the total width of all driveways, existing and proposed, serving a given property would exceed 50% of the curb line frontage where such frontage is 100 feet or less;
3. Within 50 feet of the right-of-way line of an intersecting non-arterial road;
4. Within 100 feet of the right-of-way line of an intersecting arterial road;
5. Within 100 feet of an approved median opening location on an arterial road;
6. Within 25 feet of a guardrail ending;
7. Within 100 feet of a bridge structure;
8. Within the minimum spacing as established by Figure 24 in Appendix 1; or,
9. When adequate sight distance cannot be provided to vehicles on the driveway attempting to access the road.

Exceptions may be made by the Director of Public Works where the application of these standards would create undue hardship to the abutting property owners.

7.12 Speed Change Lanes

Speed change lanes (acceleration and deceleration) for right turning movements are required for any type of access (including public and private roads, driveways, etc.) based upon posted speed limits and traffic volumes according to the warrants listed in

the AASHTO Safety Design Standards tables as required by the speed and turning radius.

- Minimum width of speed change lanes shall be 12 feet, exclusive of shoulder.
- The design hour volume, DHV, shall be considered the average peak hour volume.
- Applicants for Multi-family residential accesses serving more than 10 dwelling units, commercial accesses, and industrial accesses shall submit a traffic study which shall include estimates of the volume and type of traffic to be using the access at build-out, turning movements into and out of the access, the effect of the proposed access on the existing traffic on the public road to be accessed, and any other information deemed by the Metropolitan District staff or appointed representative to be necessary to evaluate the specific site requirements. No traffic impact study will be required for Multi-family of less than 10 dwelling units.
- The lengths shown for speed change lanes are minimum lengths which may need to be increased due to grade, sight distance, topography, etc. for grades of 3 percent or more of the lane length shall be increased in accordance with the factors contained in the Colorado Department of Transportation's Roadway Design Manual.
- For deceleration lanes where vehicle turning movements are 30 Design Hourly Volume of a roadway segment (DHV) or more, additional storage length is required according to the following:

| DHV of Deceleration Lane | Additional Storage Length |
|--------------------------|---------------------------|
| 30 | 25 |
| 60 | 50 |
| 100 | 100 |
| 200 | 175 |
| 300 | 250 |

7.13 Application Fees

An administrative and inspection fee shall be charged to the applicant for any access permit. The fee is intended to cover the actual cost incurred by the Department of Public Works in administration of the permit, inspection of the proposed location of the access, construction of the access for compliance with the standards outlined in this policy, plan reviews, development review and follow-up meetings after the initial submission.

7.13.1 The permit fee for an access permit shall be as follows:

| ROAD FUNCTIONAL CLASSIFICATION | TYPE OF ACCESS (Based on Use) | | | | | |
|--------------------------------|-------------------------------|--------------------|-------------------|--------------|--------------|-------------|
| | Temp. access | Res. Single family | Res. Multi-family | Agricultural | Commercial | Industrial |
| Local Minor Access | \$ 250.00 | \$ 250.00 | \$ 600.00 | \$ 225.00 | \$ 5,000.00 | \$ 5,000.00 |
| Local Access | \$ 250.00 | \$ 250.00 | \$ 600.00 | \$ 225.00 | \$ 5,000.00 | \$ 5,000.00 |
| Local Commercial | \$ 500.00 | \$ 550.00 | \$1,000.00 | \$ 225.00 | \$ 2,500.00 | \$ 5,000.00 |
| Local Industrial | \$ 550.00 | \$ 650.00 | \$1,000.00 | \$ 250.00 | \$ 2,000.00 | \$ 5,000.00 |
| Minor Collector | \$ 550.00 | \$ 650.00 | \$2,500.00 | \$ 250.00 | \$ 2,000.00 | \$ 5,000.00 |
| Major Collector | \$ 550.00 | \$ 650.00 | \$2,500.00 | \$ 500.00 | \$ 5,000.00 | \$ 5,000.00 |
| Minor Arterial | \$ 550.00 | \$ 600.00 | \$3,000.00 | \$ 500.00 | \$ 5,000.00 | \$ 5,000.00 |
| Principal Arterial | \$ 550.00 | Per case TBD | Per case TBD | Per case TBD | Per case TBD | \$ 5,000.00 |

7.13.2 The minimum application fees listed in 7.13.1 are due and payable at the time of application and prior to the issuance of any permit.

7.13.3 In addition to the minimum fees listed in 7.13.1, the applicant may be responsible for any actual additional costs incurred by the Metropolitan District staff or appointed representative as a result of the applicant's failure to comply with the conditions and terms of an access permit.

7.13.4 At Pueblo CCMD Public Work's discretion, Pueblo CCMD may request Access Permit applicants dedicate an easement for future CCMD Projects in the adjacent roadway.

7.13.5 Any permitted access must be completed within four (4) weeks of the approval of the permit application. An extension of time may be requested in writing and submitted to the Metropolitan District staff or appointed representative. Should the permittee fail to obtain a time extension, the permittee may be required to obtain a new Access Permit.

7.14 Damage to CCMD Roadway and Improvements

Any damage to the pre-existing CCMD roadway, drainage ways, structures, traffic control devices, etc. within the CCMD right-of-way arising from or occurring during the construction of the roadway access or performed on the property served in connection with the use for which the permit is applied, shall be promptly repaired by

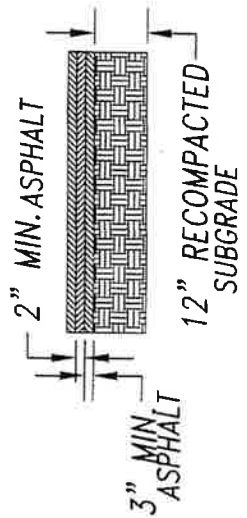
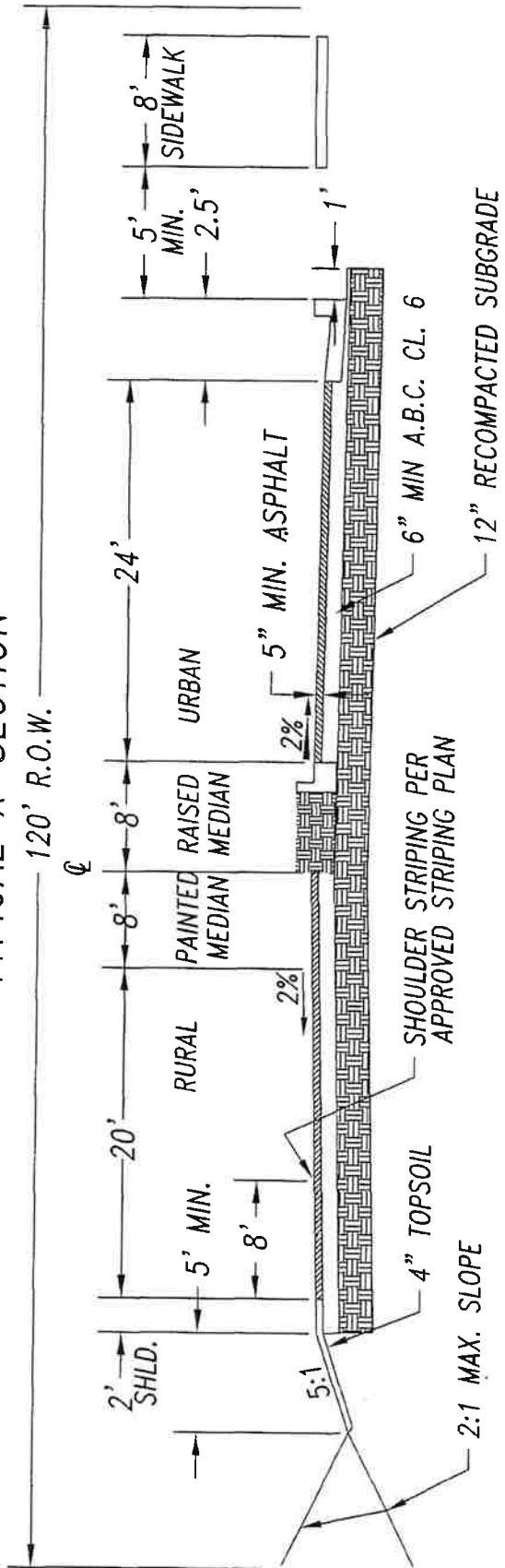
the applicant prior to the final issuance of the permit. All debris, rubble, excess material, etc. will be removed from the CCMD right-of-way.

APPENDIX 1

LIST OF FIGURES

| | |
|----------------|--|
| Figure 1 | Principal Arterial, X-section |
| Figure 2 | Minor Arterial, X-section |
| Figure 3 | Major Collector, X-section |
| Figure 4 | Minor Collector, X-section |
| Figure 5 | Local Commercial, X-section |
| Figure 6..... | Local Industrial, X-section |
| Figure 7..... | Local Access, X-section |
| Figure 8..... | Local Minor Residential, X-section |
| Figure 9..... | Local Minor Residential - gravel, X-section |
| Figure 10..... | Cul-de-sac Detail |
| Figure 11..... | Vehicle Curves |
| Figure 12..... | Mailbox Details - standard |
| Figure 13..... | Mailbox Details - cantilevered |
| Figure 14..... | Mailbox Turn Out Details |
| Figure 15..... | Layered Pavement Design |
| Figure 16..... | Design Nomograph - Flexible Pavements |
| Figure 17..... | Correlation of Soil Support Values to Resistance Values |
| Figure 18..... | Design Nomograph for Gravel Roads - Servicability Criteria |
| Figure 19..... | Design Nomograph for Gravel Roads - Rutting Criteria |
| Figure 20..... | Equivalent Thickness - Subbase for Base Course |
| Figure 21..... | Urban Driveways |
| Figure 22..... | Rural Driveways |
| Figure 23..... | Rural Driveways - Profiles |
| Figure 24..... | Driveways - Location and Spacing |
| Figure 25..... | Culvert End Treatment - Slope Paving |
| Figure 26..... | Culvert End Treatment - Headwall |
| Figure 27..... | Alternate Ramp Curb and Gutter |

TYPICAL X-SECTION



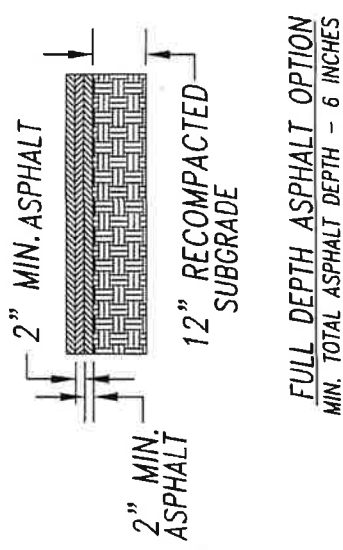
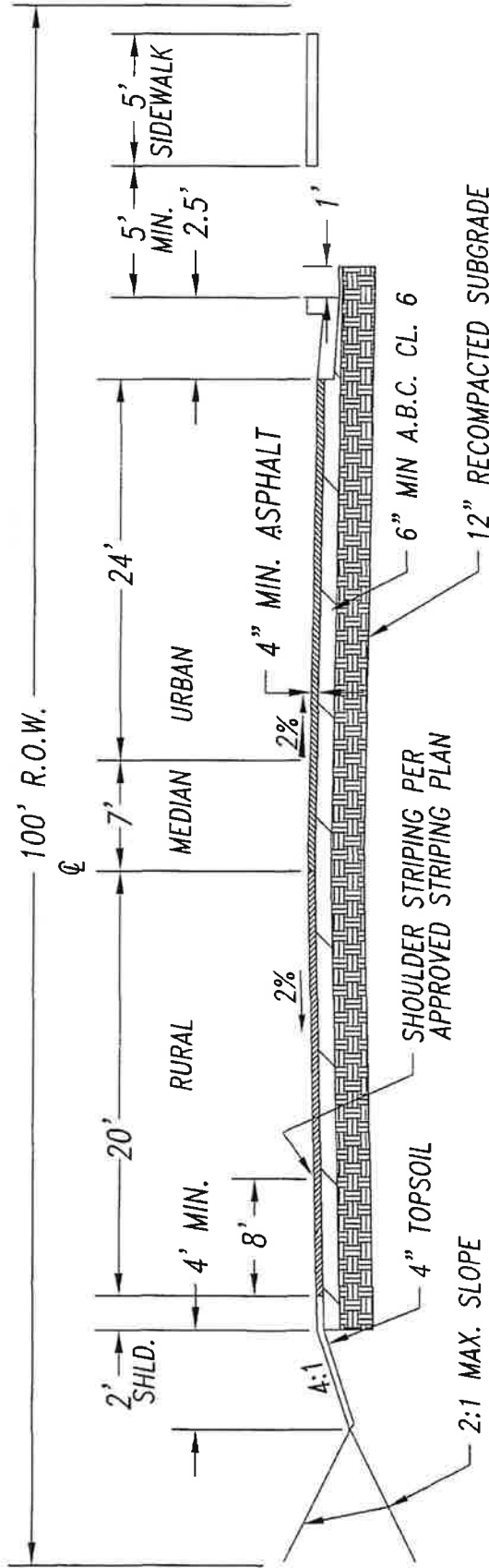
FULL DEPTH ASPHALT OPTION
MIN. TOTAL ASPHALT DEPTH - 7 INCHES

- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.
 4. Additional right-of-way may be required where acceleration/deceleration lanes or turn lanes are required.

PRINCIPAL ARTERIAL

| | | |
|-------------------------------|-------------------|-----------------|
| PUEBLO COUNTY PUBLIC WORKS | APPROVED: 4-23-98 | FIGURE NO. 1 |
| | REVISED: | |
| | REVISED: | |

TYPICAL X-SECTION



- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.
 4. Additional right-of-way may be required where acceleration/deceleration lanes or turn lanes are required.

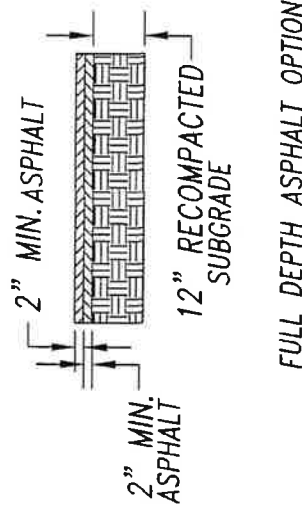
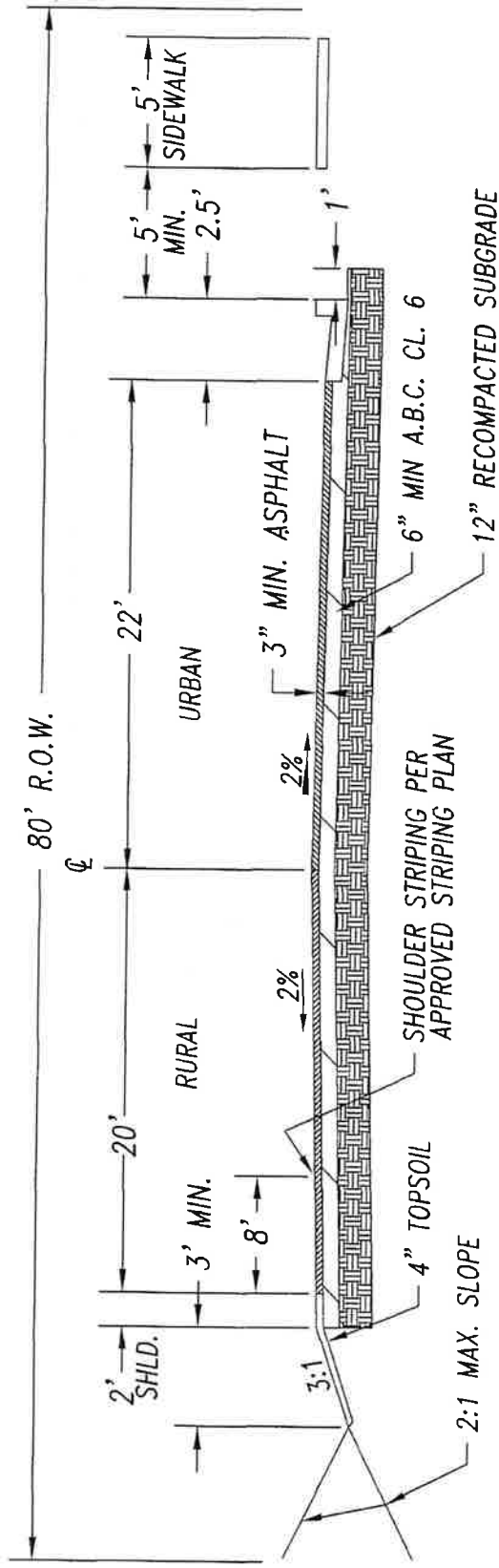
MINOR ARTERIAL

PUEBLO COUNTY
PUBLIC WORKS

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REVISED:

FIGURE NO.
2

TYPICAL X-SECTION



- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.

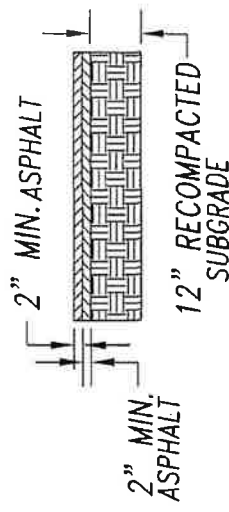
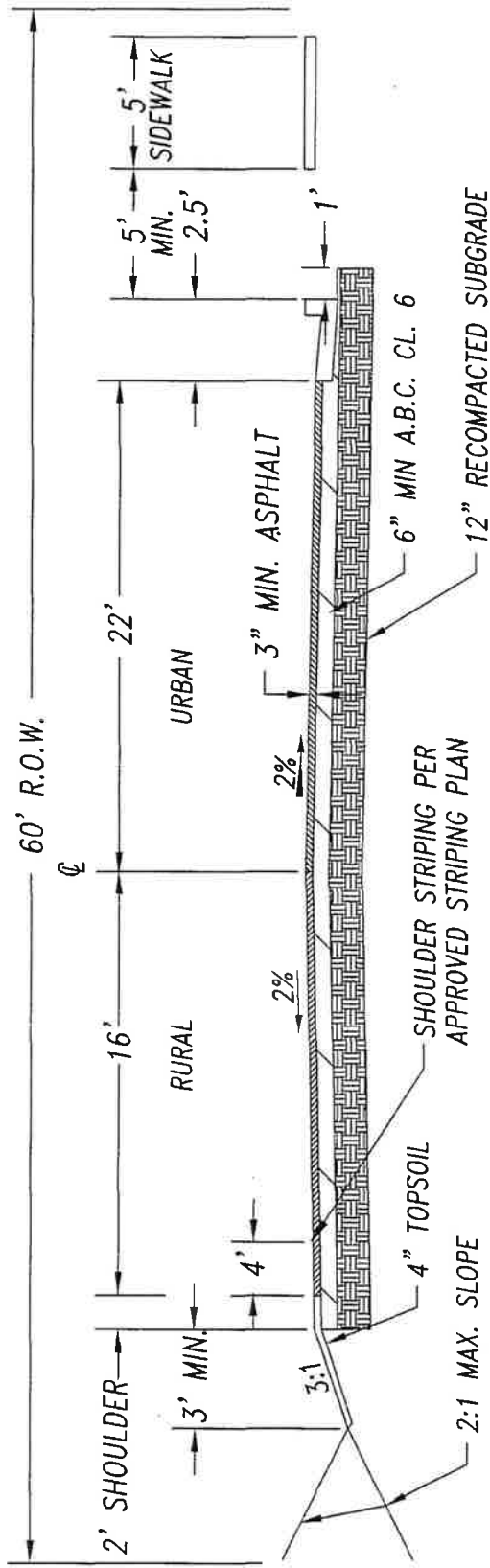
MAJOR COLLECTOR

PUEBLO COUNTY
PUBLIC WORKS

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REVISED: _____

FIGURE NO.
3

TYPICAL X-SECTION



FULL DEPTH ASPHALT OPTION

- NOTES: 1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.

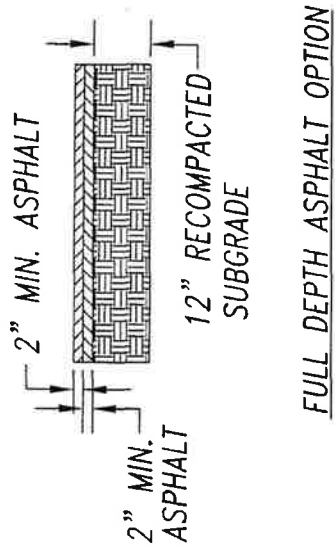
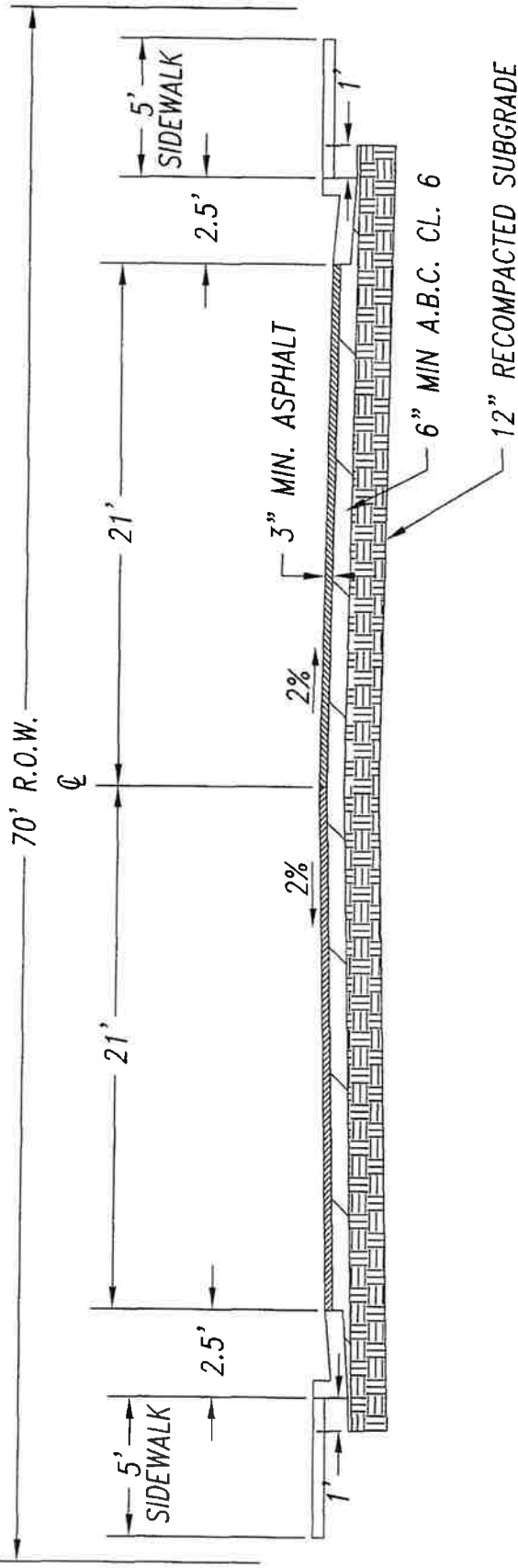
MINOR COLLECTOR

PUEBLO COUNTY
PUBLIC WORKS

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 REVISED:

FIGURE NO.
4

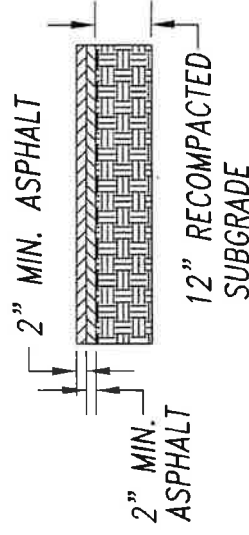
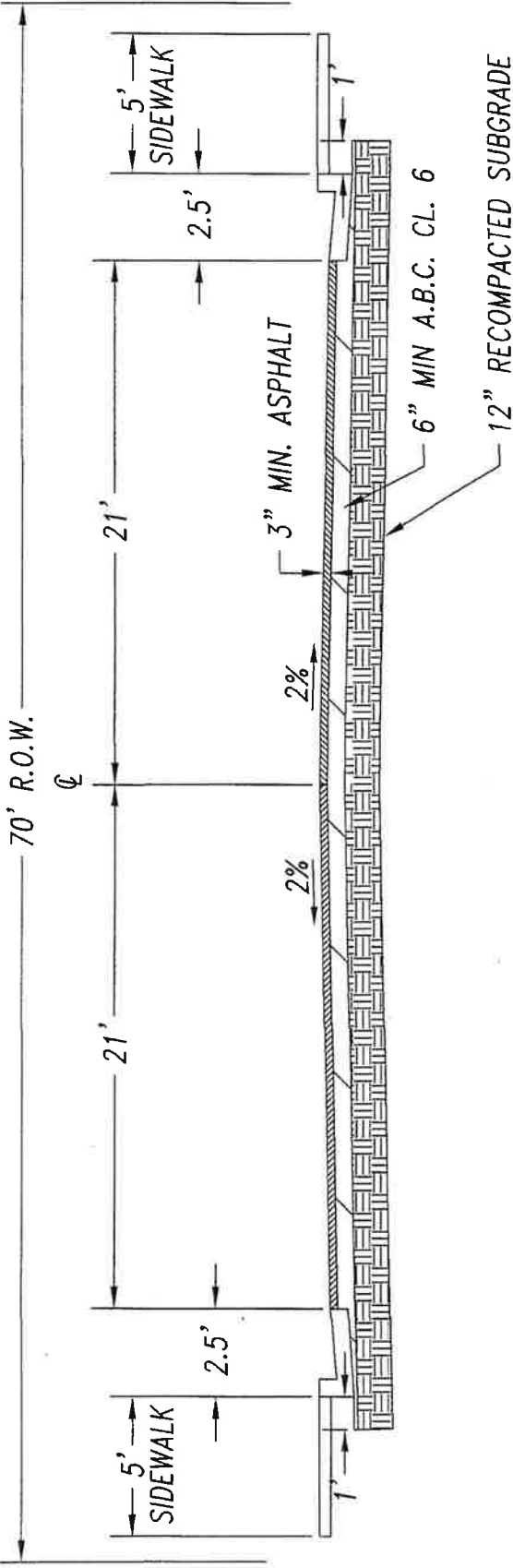
TYPICAL X-SECTION



- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.

| | |
|-------------------------------|---|
| LOCAL INDUSTRIAL | |
| PUEBLO COUNTY PUBLIC WORKS | APPROVED: 4-23-98 REVISED: REVISED: |
| FIGURE NO. 5 | |

TYPICAL X-SECTION



- NOTES: 1. Pavement design by a professional engineer is required - see Article No. 6.
2. Full depth asphalt design allowed only with approval of Director of Public Works.
3. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.

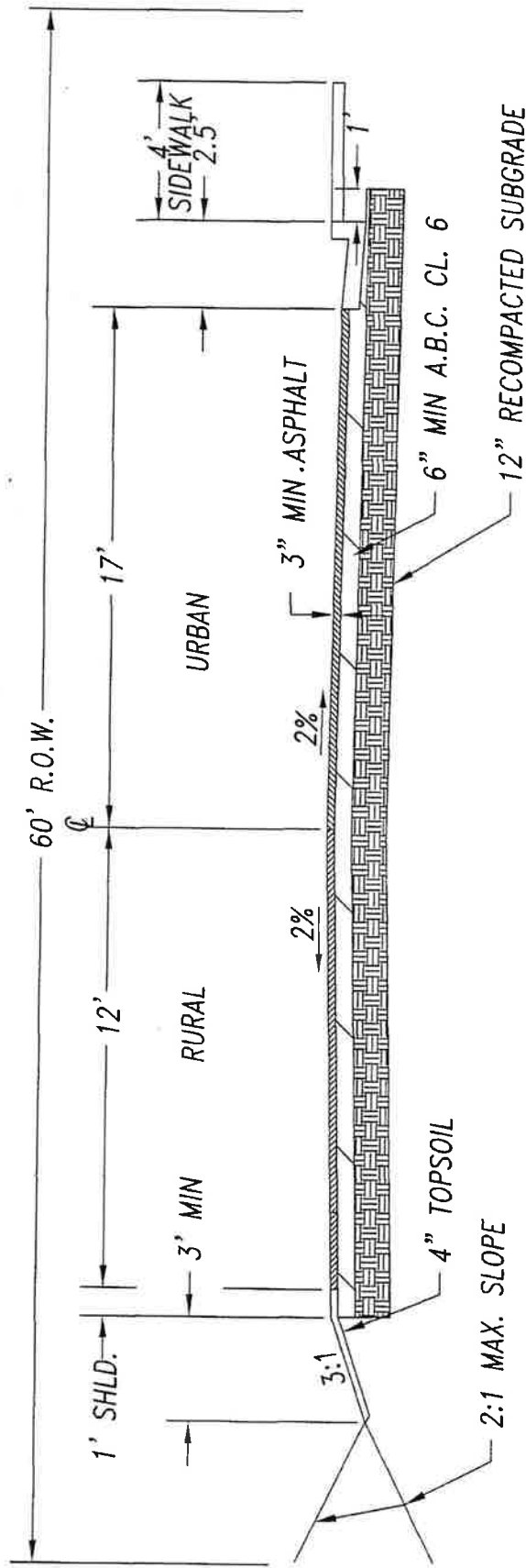
LOCAL COMMERCIAL

PUEBLO COUNTY
PUBLIC WORKS

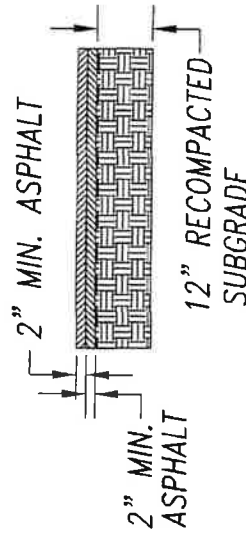
APPROVED: 4-23-98
REVISED:
REVISED:

FIGURE NO.
6

TYPICAL X-SECTION



- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Narrower widths may be approved for urban section where adequate off street parking is provided and on street parking is prohibited.
 4. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.
 5. Rural pavement width shown assumes no on street parking add minimum 4' total width where on street parking allowed.



FULL DEPTH ASPHALT OPTION

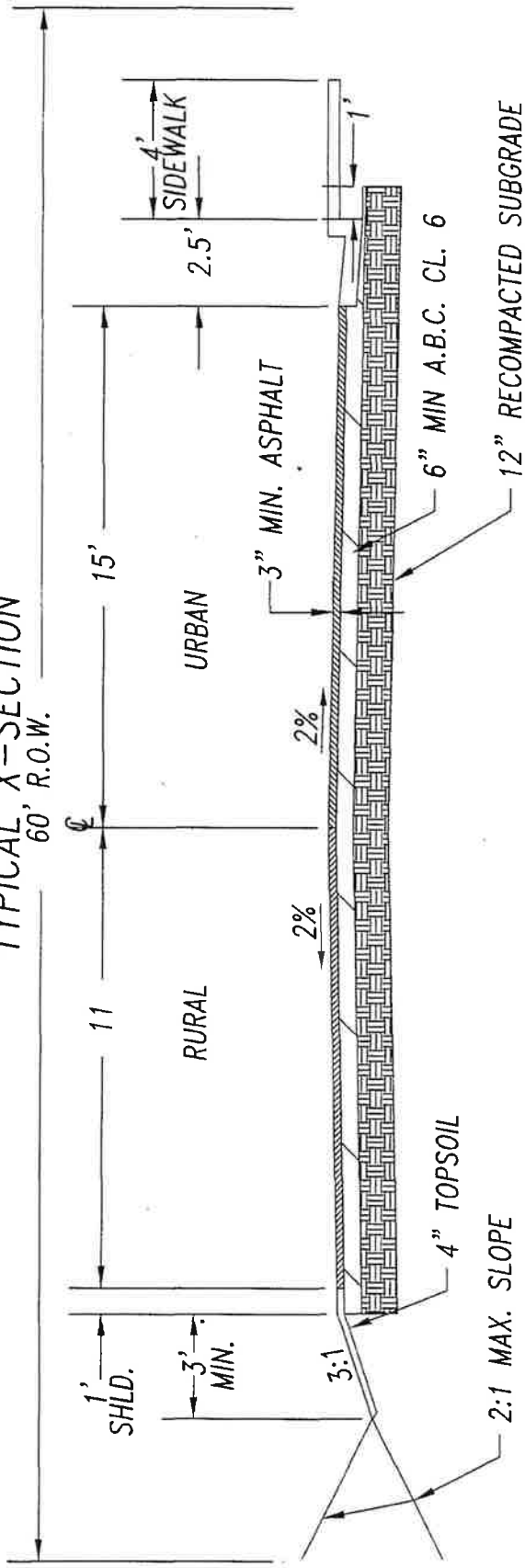
LOCAL ACCESS

PUEBLO COUNTY
PUBLIC WORKS

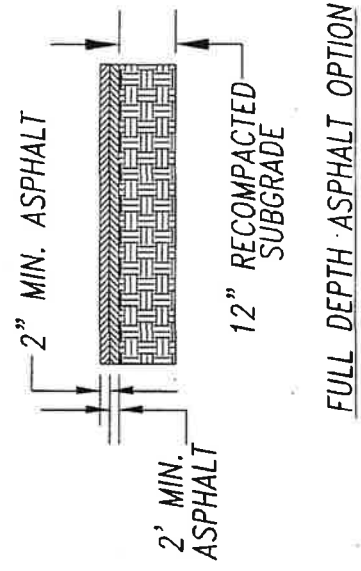
APPROVED: 4-23-98
REVISED: _____
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FIGURE NO.
7

TYPICAL X-SECTION
60' R.O.W.



- NOTES:
1. Pavement design by a professional engineer is required - see Article No. 6.
 2. Full depth asphalt design allowed only with approval of Director of Public Works.
 3. Narrower widths may be approved for urban section where adequate off street parking is provided and on street parking is prohibited.
 4. Depth of A.B.C. class 6 to be supported by pavement design. Depth over 6" may be class 2 A.B.C. - minimum 4" depth.
 5. Rural pavement width shown assumes no on street parking add minimum 4' total width where on street parking allowed.



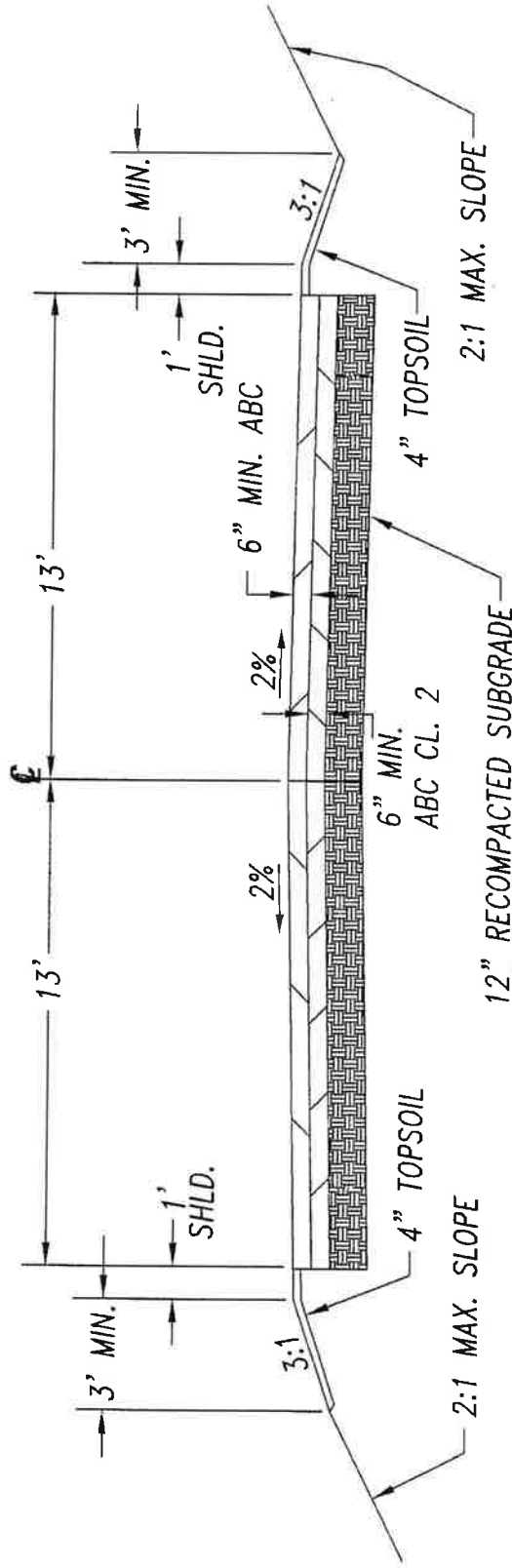
LOCAL MINOR RESIDENTIAL

PUEBLO COUNTY
PUBLIC WORKS

APPROVED: 4-23-98
REVISED:
REVISED:

FIGURE NO.
8

TYPICAL X-SECTION



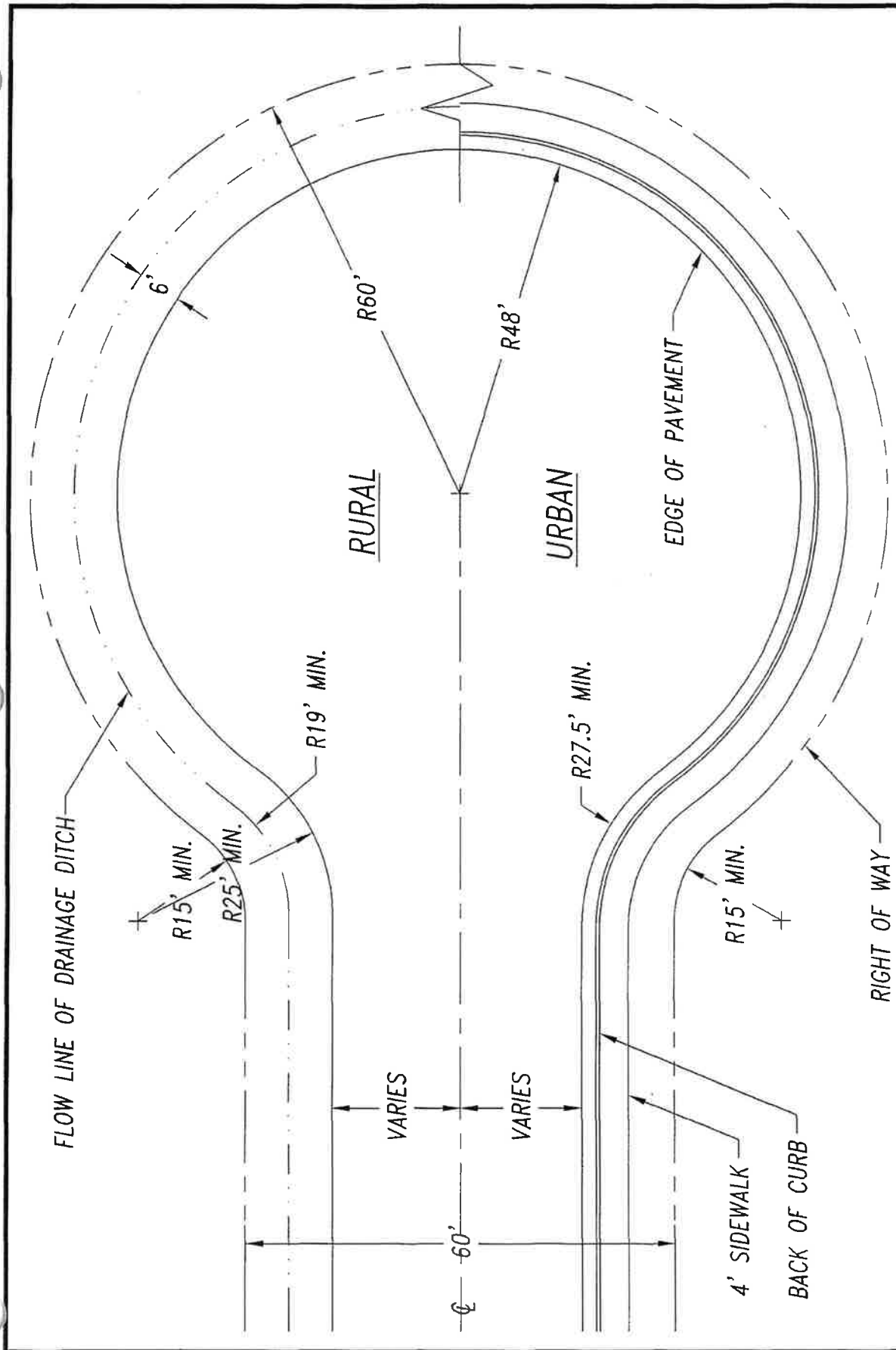
- NOTES:
1. Cross section design by professional engineer is required - see Article No. 6.
 2. Depth of class 6 A.B.C., class 2 A.B.C., to be supported by cross section design.
 3. Surface aggregate base course (A.B.C.) to be per Pueblo County specifications - see Article No. 8.9

LOCAL MINOR RESIDENTIAL - GRAVEL

PUEBLO COUNTY
PUBLIC WORKS

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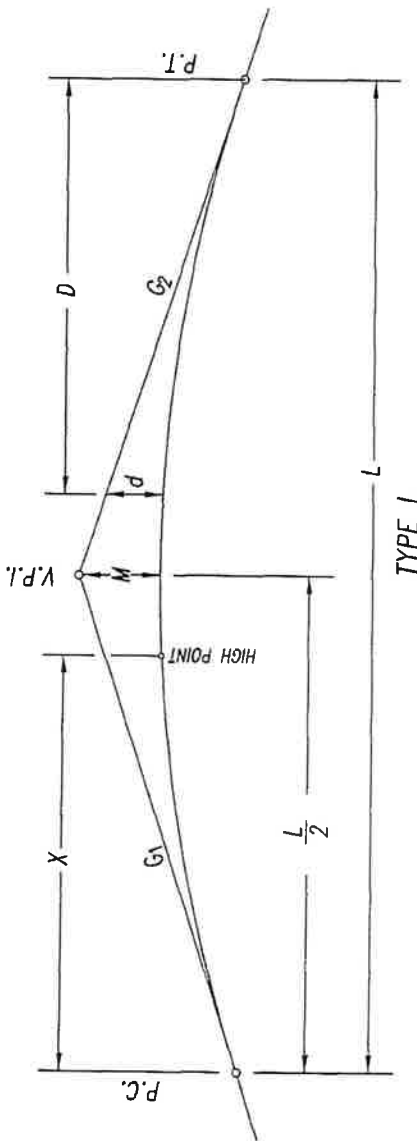
FIGURE NO.
9



CUL-DE-SAC DETAIL

| | | |
|-------------------------------|-------------------|------------------|
| PUEBLO COUNTY PUBLIC WORKS | APPROVED: 4-23-98 | FIGURE NO. 10 |
| | REVISED: | |
| | REVISED: | |

TYPES OF VERTICAL CURVES



TYPE I
CREST VERTICAL CURVE

G1 & G2 = GRADES IN FT. PER 100 FT.

$$d = 4M \left(\frac{D}{L} \right)^2 \text{ OR } d = \frac{\text{ALGEBRAIC DIFF. } \times D^2}{2L}$$

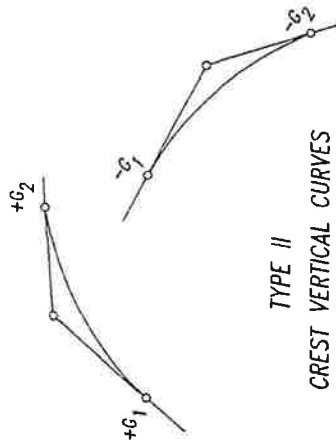
L = LENGTH OF CURVE IN STATIONS

$$M = \frac{L \text{ (ALGEBRAIC DIFFERENCE IN GRADES)}}{8}$$

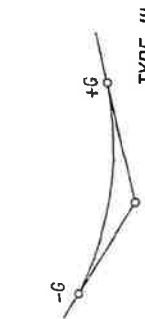
TO DETERMINE HIGH POINT (OR LOW POINT ON SAG VERTICAL)

USE THE FOLLOWING: $X = \frac{G \times L}{\text{ALG. DIFF. IN GRADES}}$

WHERE X IS THE DISTANCE FROM THE P.C. OF THE CURVE IN STATIONS.



TYPE II
CREST VERTICAL CURVES



TYPE III
SAG VERTICAL CURVES



TYPE IV
SAG VERTICAL CURVES

VERTICAL CURVES

PUEBLO COUNTY
PUBLIC WORKS

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REVISED: _____

FIGURE NO.
11

GENERAL NOTES

POSTS, BRACKETS, AND ALL MOUNTING HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH AASHTO M 232 AND M 111, EXCEPT THE WELDED MECHANICAL TUBING COATING SHALL BE G-90 OR EQUIVALENT PER ASTM A 525. TWO INCH OUTSIDE DIAMETER, 14 GAGE WELDED MECHANICAL TUBING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A 513.

EXACT DIMENSIONS OF ANGLES, PLATFORM AND SHELF BRACKETS, BOLT HOLES, SLOTS AND MULTIPLE MAILBOX SUPPORT COMPONENTS MAY VARY FROM THOSE SHOWN OR IMPLIED HEREIN SO THAT ALL COMPONENTS WILL FIT TOGETHER PROPERLY.

PLASTIC NEWSPAPER RECEPTACLES MAY BE REMOUNTED BELOW THE MAILBOX ON THE SUPPORT.

ON ROADS WITH CURB AND GUTTER, THE MAILBOX SUPPORT SHALL BE LOCATED IN THE GROUND SO THE FRONT OF THE MAILBOX SHALL BE 8" TO 12" BACK FROM THE CURB FACE. THE HEIGHT SHALL BE 42" TO 48" MEASURED FROM THE GUTTER FLOW LINE TO THE BOTTOM OF THE MAILBOX.

ON ROADS WITH SIDEWALK ATTACHED TO CURB AND GUTTER, THE MAILBOX SUPPORT SHALL BE LOCATED IN THE GROUND BEHIND THE SIDEWALK. THE FRONT OF THE MAILBOX SHALL BE IN LINE WITH OR SLIGHTLY BEHIND THE EDGE OF THE SIDEWALK. THE MOUNTING HEIGHT SHALL BE 42" TO 48" ABOVE THE SIDEWALK.

THE GROUND SURROUNDING THE MAILBOX SUPPORTS SHALL BE FIRM, UNDISTURBED GROUND, OR WELL COMPACTED REGRADED SOIL. THE SUPPORTS ARE NORMALLY DRIVEN, BUT THEY MAY BE PLACED IN A DUG HOLE WITH WELL COMPACTED BACKFILL.

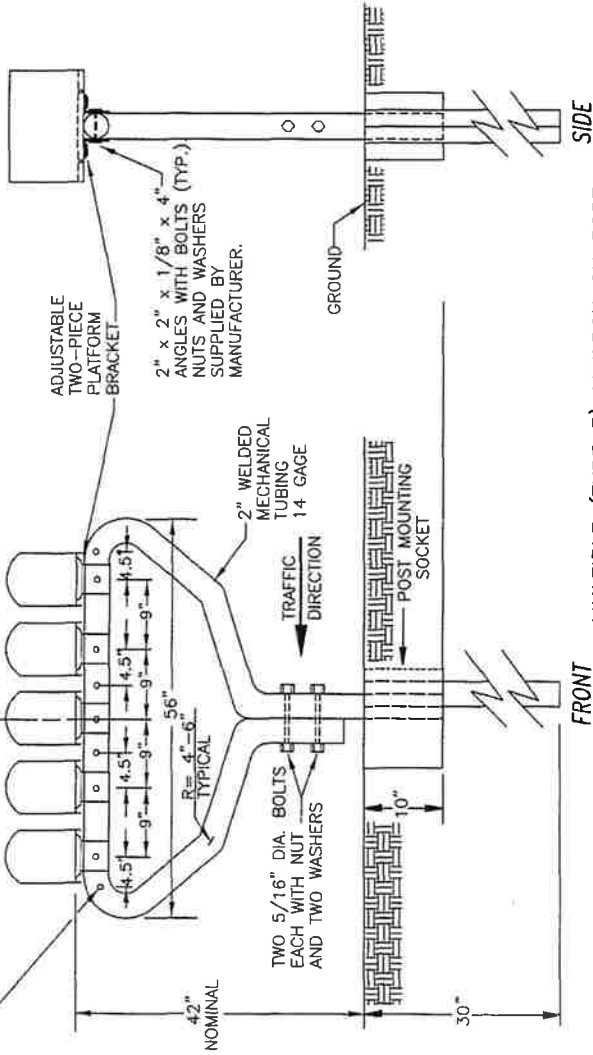
MAILBOX SUPPORTS

APPROVED: 4-23-98
 REVISED: _____
 REVISED: _____

PUEBLO COUNTY
 PUBLIC WORKS

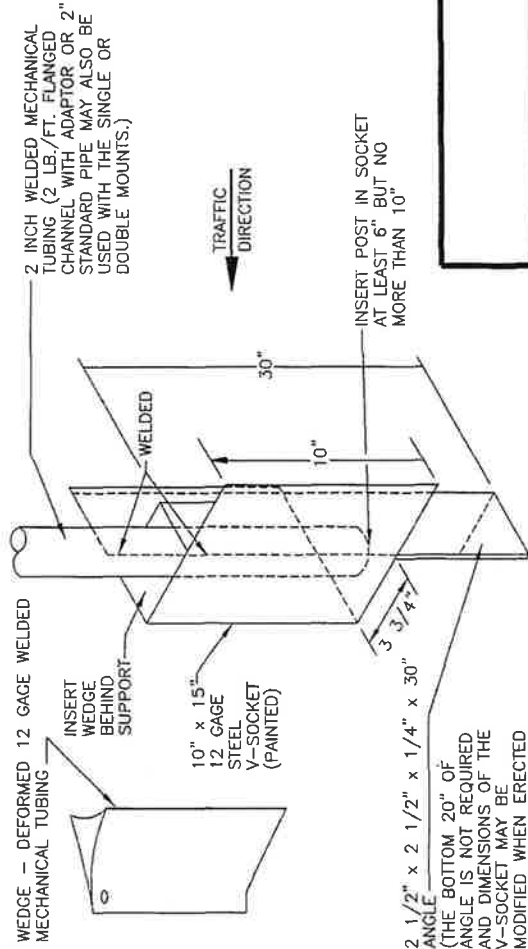
FIGURE NO.
 12A

9 BOLT HOLES. SIZE 2 MAILBOX REQUIRES FOUR ANGLE CONNECTORS TO ATTACH THE MAILBOX TO TYPE 3 SUPPORT. MAX. OF 4 SIZE 2 MAILBOXES.



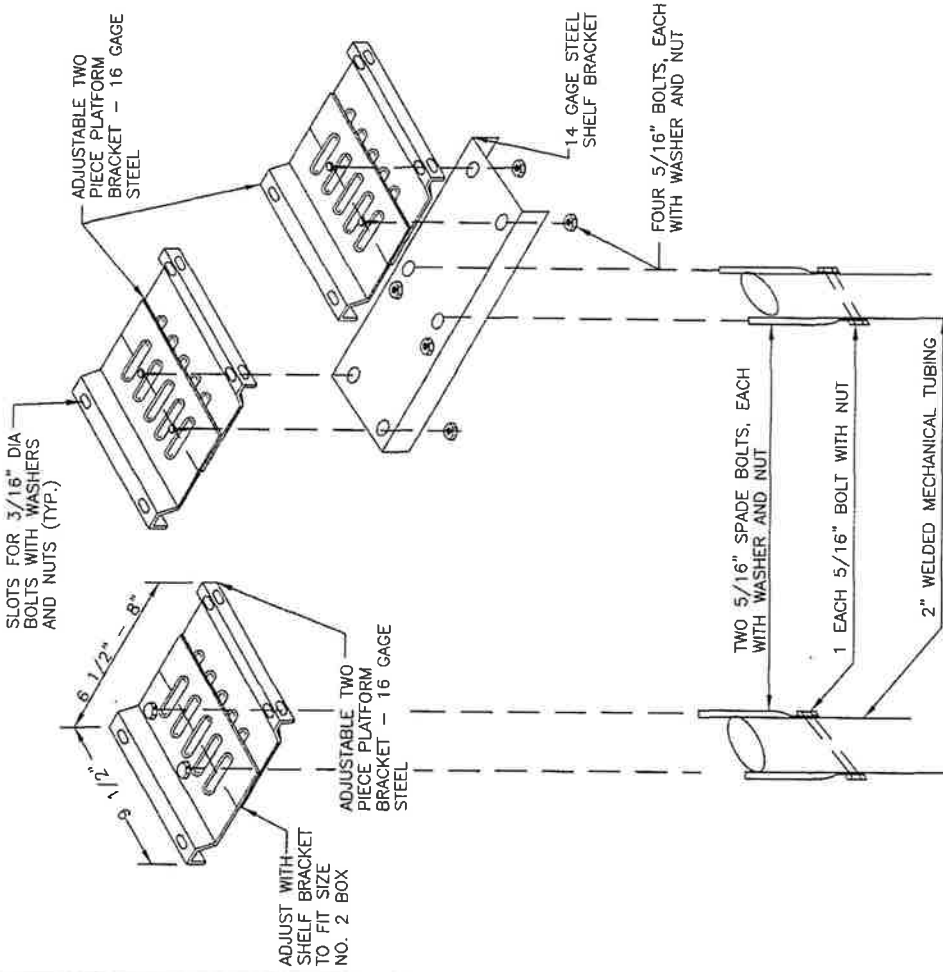
MULTIPLE (TYPE 3) MAILBOX SUPPORT

(FORESIGHT PRODUCTS MODEL NO. 20-M OR APPROVED EQUAL)



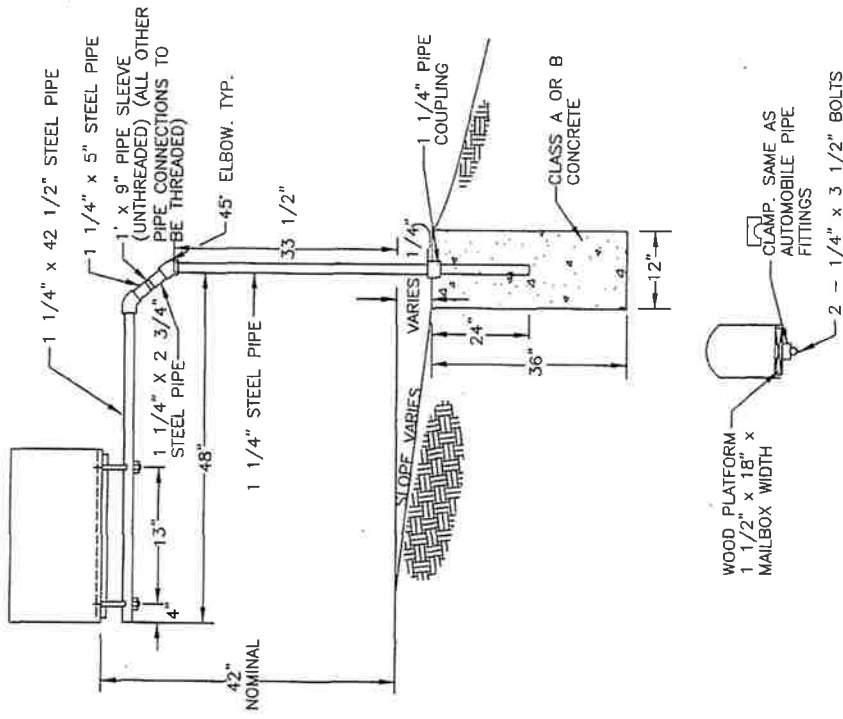
POST MOUNTING SOCKET

2 1/2" x 2 1/2" x 1/4" x 30"
 ANGLE
 (THE BOTTOM 20" OF ANGLE IS NOT REQUIRED AND DIMENSIONS OF THE V-SOCKET MAY BE MODIFIED WHEN ERECTED IN CONCRETE OR ASPHALT PAVED AREAS.)



SINGLE AND DOUBLE MAILBOX SUPPORTS ALTERNATIVE

(FORESIGHT PRODUCTS MODEL NOS. 20-S OR 20-D)



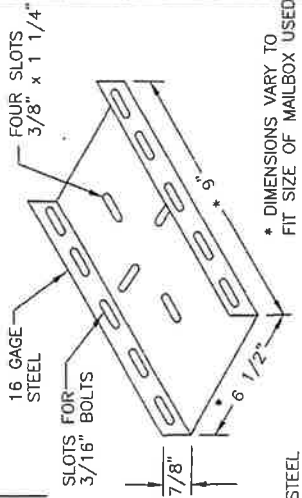
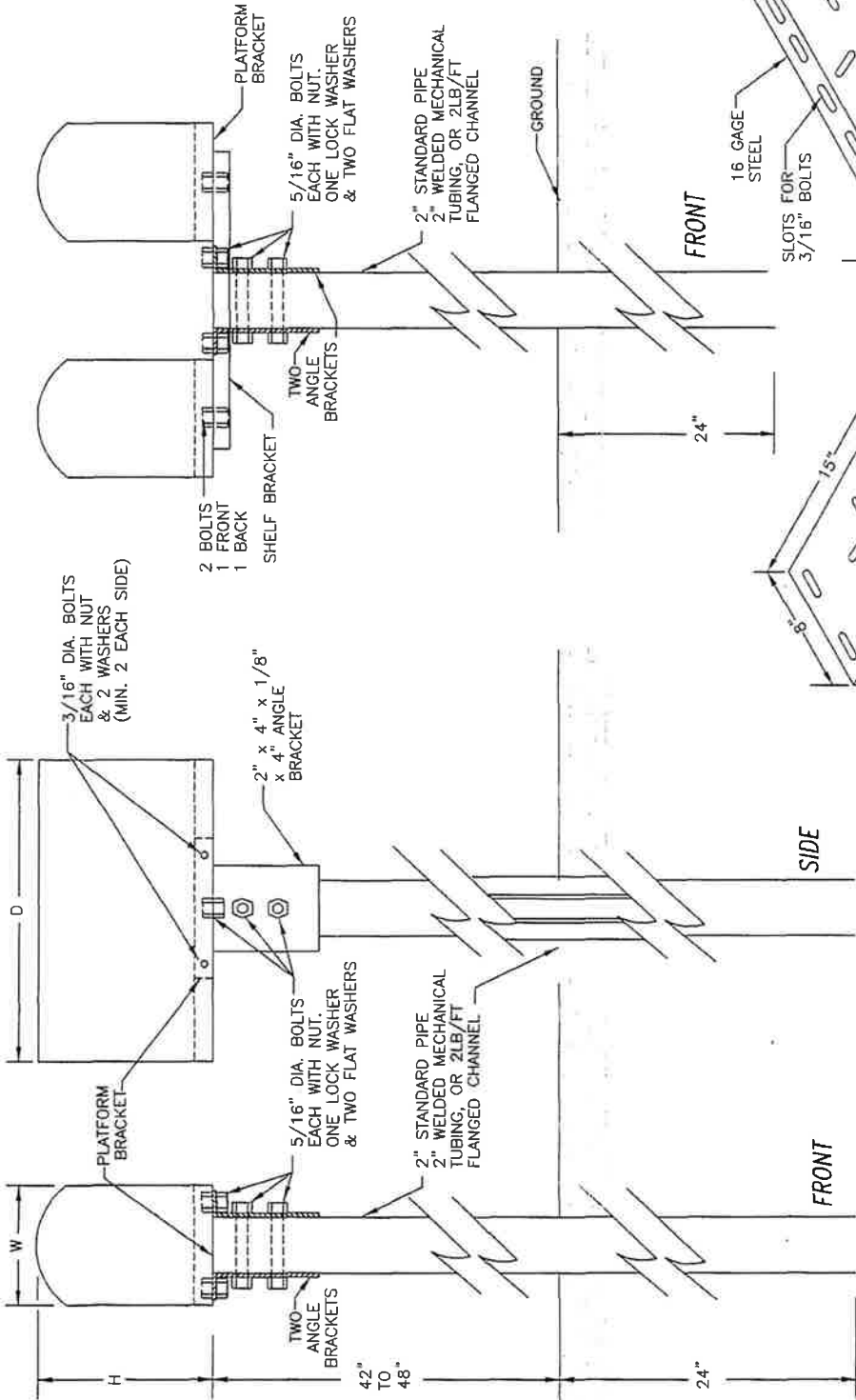
MAILBOX SUPPORTS

PUEBLO COUNTY
PUBLIC WORKS

APPROVED: 4-23-98

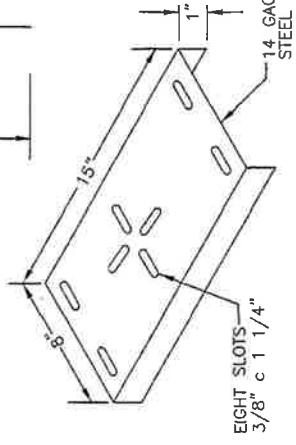
REVISED:
REVISED:

FIGURE NO. 12B



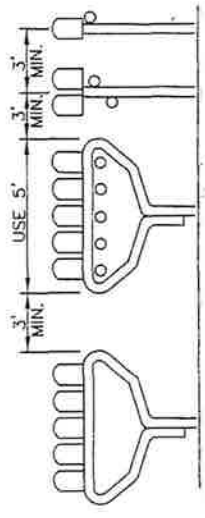
* DIMENSIONS VARY TO FIT SIZE OF MAILBOX USED

PLATFORM BRACKET



SHELF BRACKET

SINGLE (TYPE 1) AND DOUBLE (TYPE 2) MAILBOX SUPPORTS



SUPPORT SPACING

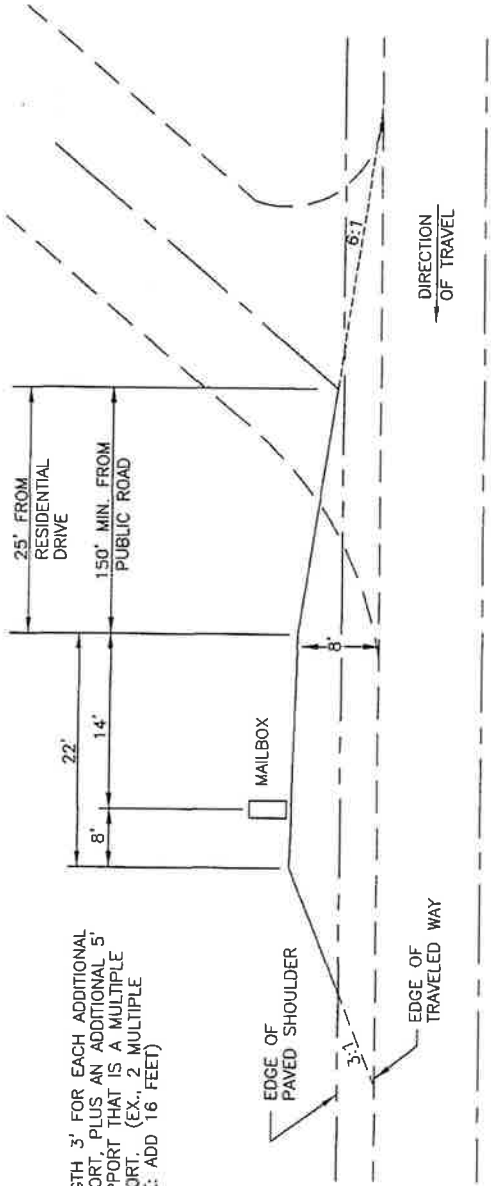
MAILBOX SUPPORTS

PUEBLO COUNTY
PUBLIC WORKS

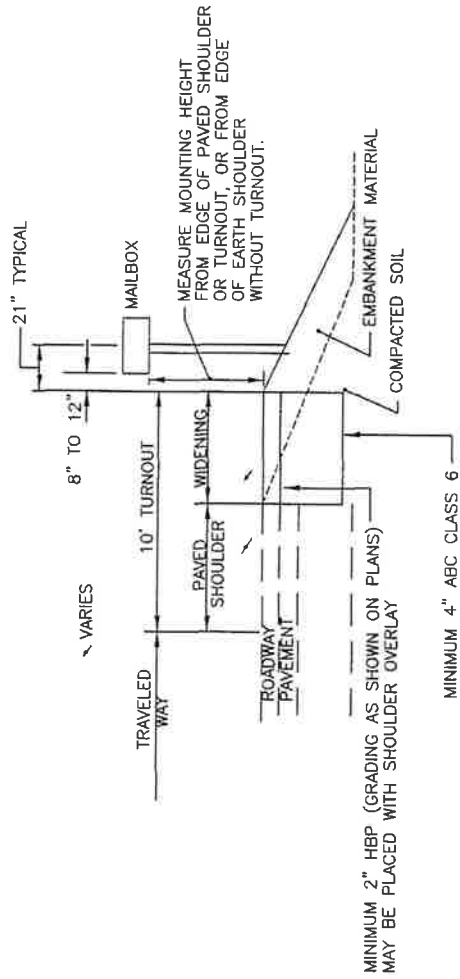
APPROVED: 4-23-98
REVISED:
REVISED:

FIGURE NO.
13

INCREASE LENGTH 3' FOR EACH ADDITIONAL MAILBOX SUPPORT, PLUS AN ADDITIONAL 5' FOR EACH SUPPORT THAT IS A MULTIPLE MAILBOX SUPPORT. (EX. 2 MULTIPLE AND 1 DOUBLE: ADD 16 FEET)



MAILBOX TURNOUT



TURNOUT TYPICAL SECTION

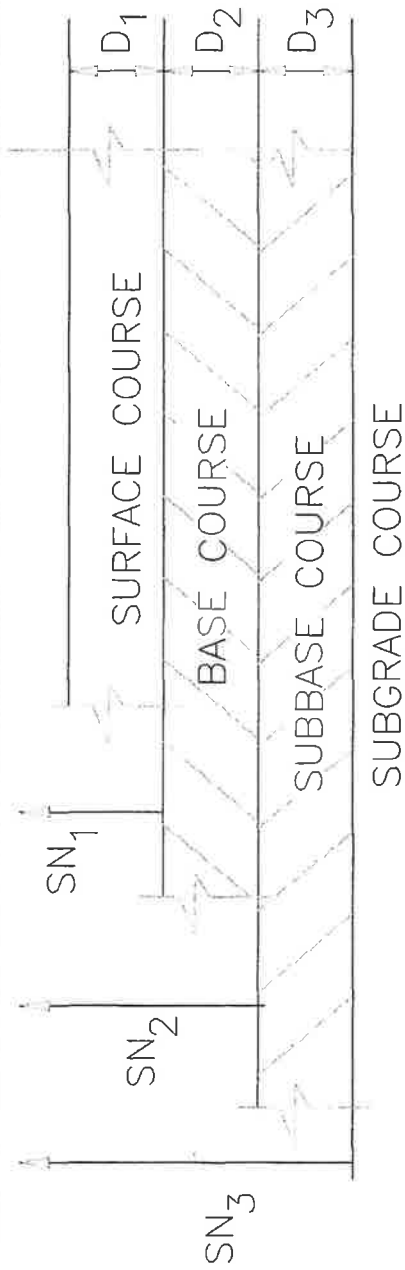
MAILBOX TURNOUTS - ROAD ADT ≥ 2000

PUEBLO COUNTY
PUBLIC WORKS

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REVISED: _____

FIGURE NO.
14



$$D^*_1 \geq \frac{SN_1}{a_1}$$

$$SN^*_1 = a_1 D^*_1 \geq SN_1$$

$$SN^*_1 + SN^*_2 \geq SN_2$$

$$D^*_3 \geq \frac{SN_3 - (SN^*_1 + SN^*_2)}{a_3 m_3}$$

$$D^*_2 \geq \frac{SN_2 - SN^*_1}{a_2 m_2}$$

- 1) Where a_i is the structural layer coefficient for each material, m_i is drainage related adjustment per sec. 6.3e
- 2) An asterisk with D or SN indicates that it represents the value actually used, which must be equal to or greater than the required value.

LAYERED PAVEMENT DESIGN

PUEBLO COUNTY
PUBLIC WORKS

APPROVED: 4-23-98

REVISED:

REVISED:

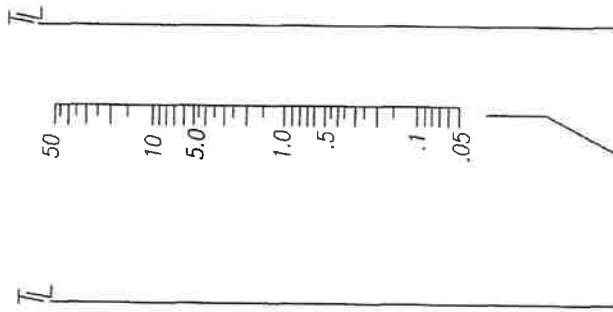
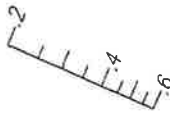
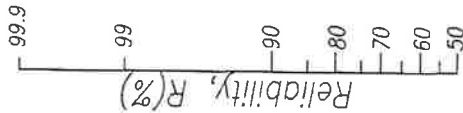
FIGURE NO.
15

NOMOGRAPH SOLVES:

$$\log_{10} 18^k ESAL = Z_R^* S_0 + 9.36 * \log_{10}(SN+1) - 0.20 +$$

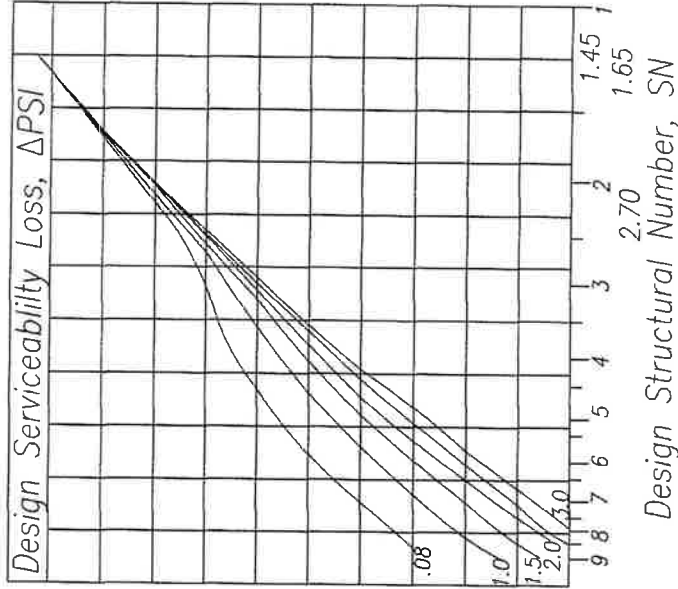
$$\frac{\log_{10} \left[\frac{\Delta PSI}{4.2-1.5} \right]}{0.40 + \frac{1094}{(SN+1)^{5.19}}} + 2.32 * \log_{10} M_R - 8.07$$

Overall standard deviation, S_0



Estimated total 18-kip equivalent single axle load applications (millions)

Effective roadbed soil resilient modulus, M_R (psi)



DESIGN NOMOGRAPH-FLEXIBLE PAVEMENTS

PUEBLO COUNTY
PUBLIC WORKS

APPROVED: 4-23-98

REVISED: _____
REVISED: _____

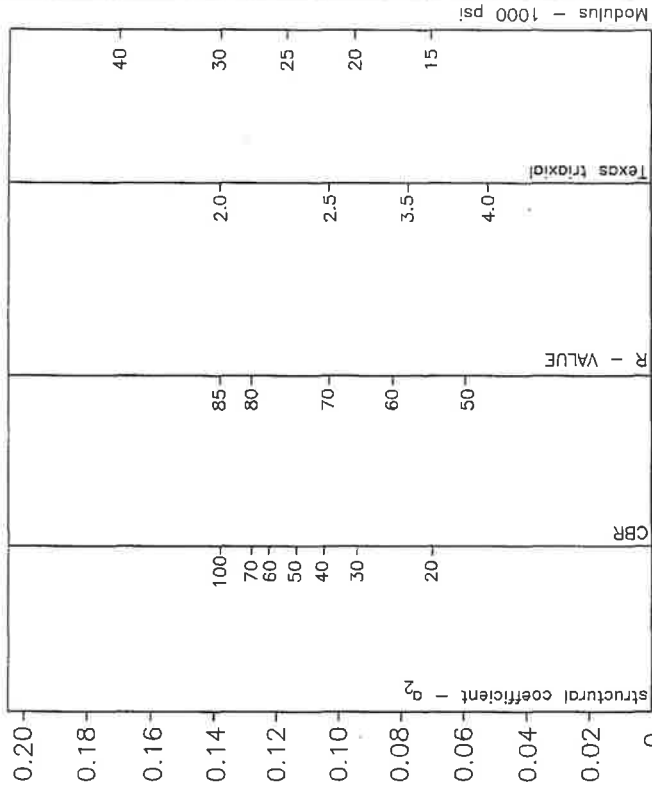
FIGURE NO.
16

Evaluation of soils and pavement structure materials
 Tests, material components and terms involved in the
 evaluation of flexible pavement design are as follows.

| COMPONENT | IESI | TERM |
|----------------------|-------------------|----------------|
| Roadbed Soil | Resilient Modulus | M _R |
| Subbase | Hveem stability | P.S.I. |
| Base Course | Hveem stability | R |
| Plant Mix Bituminous | Elastic modulus | EAC |
| Base (PMBB) | Elastic modulus | EAC |
| Hot Bituminous | Elastic modulus | EAC |
| Pavement (HBP) | Elastic modulus | EAC |
| Plant Mixed | Elastic modulus | EAC |
| Seal (PMS) | Elastic modulus | EAC |

Correlation of resistance values to soil support values is shown to the right.

STRUCTURAL COEFFICIENT



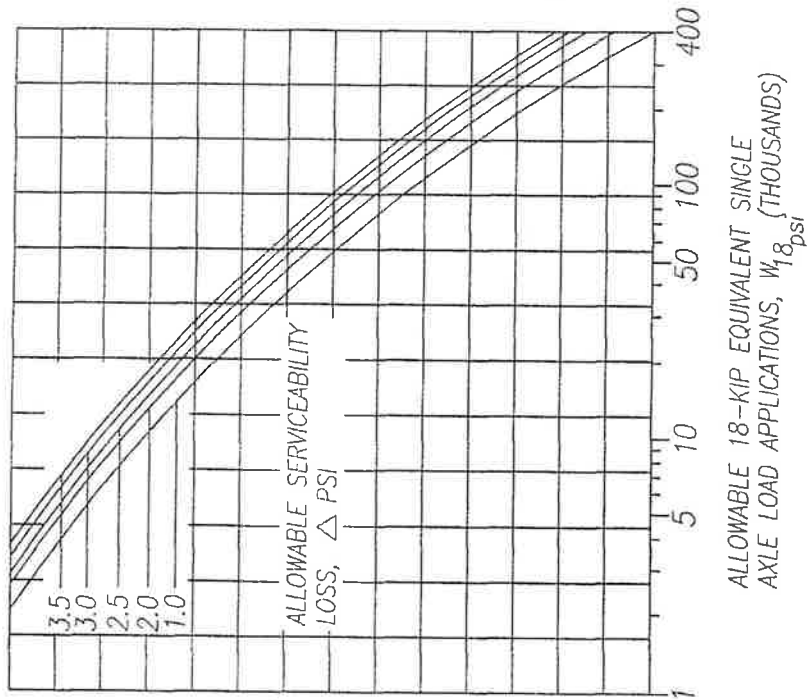
NOTE: The minimum strength coefficient of the base course on highways having a current ADT volume of 750 or greater shall be 0.12

SOIL SUPPORT VALUES

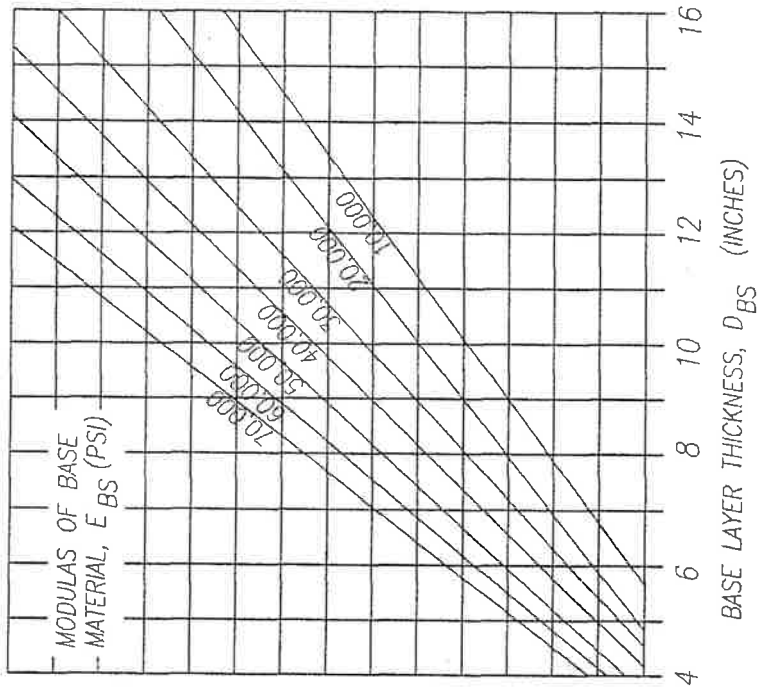
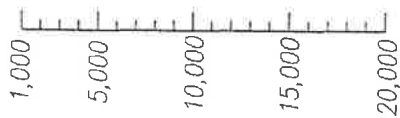
PUEBLO COUNTY
 PUBLIC WORKS

APPROVED: 4-23-98
 REVISED:
 REVISED:

FIGURE NO.
 17



RESILIENT MODULUS OF ROADBED MATERIAL, M_R (PSI)



DESIGN NOMOGRAPH FOR GRAVEL ROADS -
SERVICEABILITY CRITERIA

PUEBLO COUNTY
PUBLIC WORKS

APPROVED: 4-23-98
REVISED: _____
REVISED: _____

FIGURE NO.
18

DESIGN NOMOGRAPH FOR GRAVEL ROADS -
RUTTING CRITERIA

PUEBLO COUNTY
PUBLIC WORKS

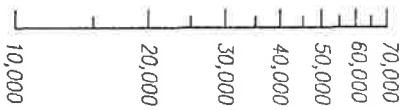
APPROVED: 4-23-98
REVISED: _____
REVISED: _____

FIGURE NO.
19

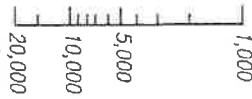
Allowable 18 kip equivalent
single axle load applications,
 W_{18RUT} (thousands)



Modulus of aggregate base
layer, E_{BS} (psi)



Resilient modulus of roadbed
material, M_R (psi)



Allowable rut depth, RD (inches)



Thickness of aggregate base layer considered
for rutting criteria, D_{BS} (inches)



CCAAC New Build Inspection Report

N 25

Date Inspected 5-21-26

Inspected by: LARRY BERG

Zoned R2 Lot 1060 Unit: 1

Parcel #: 4723101080

Owner: ANTREMAN AND ASSOCIATES

Phone: 719 251-1186

Physical Address: 5084 ISABELLA DRIVE

Minimum Sq. Ft. Required 720

Actual build sq. Ft. 1318

Lot size: .152 Acres sq. ft.

Colorado City Covenants reviewed?

Yes No

Question

Approved

Structure: _____

?

Yes No

Form: _____

?

Yes No

Texture: _____

?

Yes No

Color: _____

?

Yes No

Ext. Appurtenances: _____

?

Yes No

Property lines Marked? _____

?

Yes No

Structure lines Marked? _____

?

Yes No

Property Set Backs

Required Actual

Required Actual

Front: 25 25 Pass / Fail

Rear: 15 32 Pass / Fail

Side: 7.5 7.5 Pass / Fail

Information / Corrections Required For Final Approval:

Approved / Disapproved - CCAAC Member Signature

Larry Berg

Additional Notes: _____

Colorado City Declaration of Protective Covenants:

Said Conditions: *What can be inspected.*

7, That any building erected upon any of said lots shall be approved prior to construction by an Architectural Committee appointed by Declarant, or successors appointed by them, in Pueblo, Colorado, or at such other place as may be designated by the Declarant. The Architectural Committee, in passing on any requests for approval, shall consider the **Location (setbacks), Texture, Color, and Exterior Appurtenances**

Pueblo County Code - Title 17

Set Backs: General - based on zoning

17.24.090. (Front yard) Except as provided in 17.120.020. Buildings shall be set back not less than **twenty-five (25) feet from the front property line**

17,24 1 00, (Side yard) A principal structure shall provide **total side yards of not less than fifteen (15) feet with not less than five (5) feet won one side**, and, except as provided in Section 17.120.020, an accessory building shall be set back from the side lot line **at least five (5) feet.**

17.24.110. (Rear yard), **A principal structure shall be set back at least fifteen (15) feet from a rear lot line**, and except as provided in Section 17.120.020, an accessory building shall be set back from a rear lot line **at least five (5) feet.**

Note: Section 17.120 covers 'Supplementary Regulations' and references **Agricultural One, Two, Three and Four Zone Districts,.**

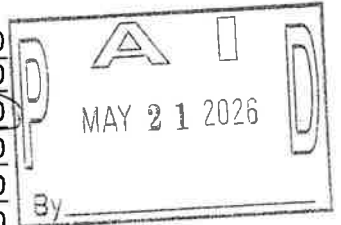
CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; it is also understood that the construction shall commence within 90 days of Colorado City Metropolitan District (CCMD) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCMD approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC and CCMD. Changes must comply with covenants. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.coloadocitymd.org.
- New Construction must purchase water, sewer and/or cistern tap within 90 days of approval. If septic and/or a cistern is being used on the building site, the Pueblo County Health Department and CCMD must approve in writing that these sources qualify under Pueblo County Health Codes.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo County Planning Department.
- Pueblo County Planning & Zoning requires that all property changes and improvements must be recorded.
- CCAAC meets every Thursday. After reviewing plans and specifications, CCAAC may approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one {1} set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCMD. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed or the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- **CCAAC is not responsible for any monetary losses you incur;** therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

| | |
|--|-------------|
| <input type="checkbox"/> Commercial/Industrial | \$400.00 |
| <input type="checkbox"/> Multifamily Residential | \$300.00 |
| <input type="checkbox"/> New Single Family Residential | \$200.00 |
| <input type="checkbox"/> Garage | \$40.00 |
| <input type="checkbox"/> CCMD Road Access Permit | \$100.00 |
| <input type="checkbox"/> Cistern/Septic | \$100.00 |
| <input type="checkbox"/> Sewer Tap | \$10,000.00 |
| <input type="checkbox"/> Water Tap | \$15,000.00 |



Total Fee Amount Paid: \$ 200.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 {\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner/Contractor Signature: Randy Devenat **Date:** 5-20-26

NEW Build Application

Colorado City Architectural Advisory Committee
P.O. Box 20229, Colorado City, Colorado 81019
719 676-3396 colocityccaac@colocitymdco.gov

RECEIVED

MAY 21 2026

Initial: _____

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3pm on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: **Antrim and Associates LLC**

Mailing Address: **PO Box 2423**

Email: **Randy@antrimandassociates.com**

City: **Pueblo** State: **CO** ZIP: **81004**

Telephone: **(719) 251-1186**

Property Address: **5084 Isabella Drive**

City: Colorado City State: CO ZIP: 81019 Lot 1060 Unit 1 Parcel# 4723101080

CONTRACTOR

Contractor: Antrim and Associates LLC

Mailing Address: PO Box 2423

Email: Randy@antrimandassociates.com

City: Pueblo State: CO Zip 81004 Telephone: (719) 251-1186

License #0014830

Requested Approval for: Commercial Building Residence Garage Other _____

Type of New Construction: Steel Wood Manufactured Other _____

Mobile Home: New Used Year Built: _____ Pueblo County Zoning Code: RZ CCMD Zoning Code: _____

Floor Area Square Footage: 1318 Square Footage Required by Covenants: 720

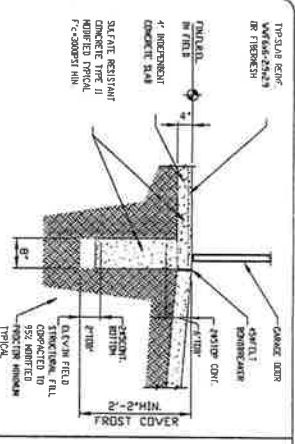
REQUIRED ITEMS: Before CCAAC will proceed with process ALL required items must be completed!

- Approved Plot Plan Drawn to Scale (see back)
- Garages and Accessory Buildings must have distance between buildings on plot map
- City/County Approved Water and Sewage Access (New Construction) see back
- Approved Road Access to property. Pueblo County Road or CCMD Road COUNTY
- Property Line Staked Out Corners
- Engineered Foundation Plan and Building Staked Out **Before** Excavation
- Manufactured/Modular homes **MUST** be on slab or finished concrete/block stem wall
- One (1) copy of Blue Print and One (1) Electronic Copy sent to colocityreception@colocitymdco.gov
- Elevations – Front, Back and Sides Front Door **MUST** face street of address
- All roof lines **MUST** be minimum 4/12 pitch
- Exterior Color Scheme, Type of *Siding* and *Roofing Materials* Must be indicated

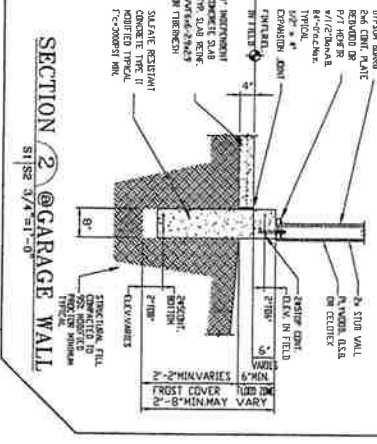
I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property Owner's or Contractor's Signature Randy Davenport Date 5-20-26

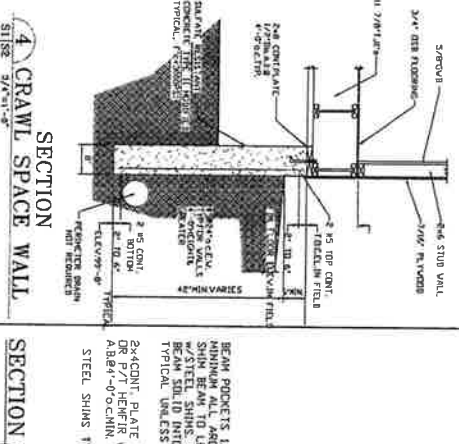
This application will not be accepted until you read and sign on reverse.



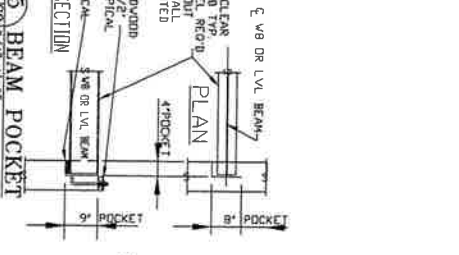
SECTION 1 @ GARAGE DOOR
S1 S2 3/4" x 1'-0"



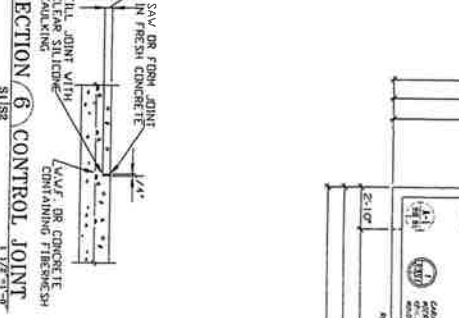
SECTION 2 @ GARAGE WALL
S1 S2 3/4" x 1'-0"



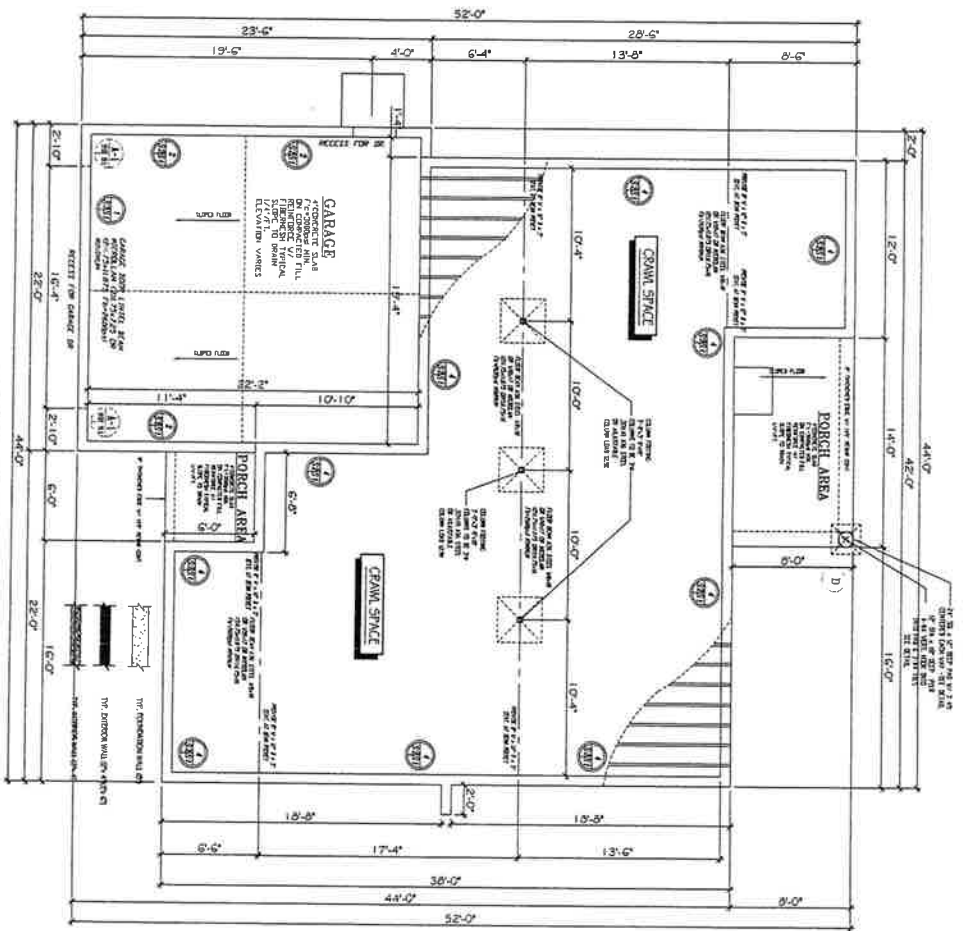
SECTION 4 CRAWL SPACE WALL
S1 S2 3/4" x 1'-0"



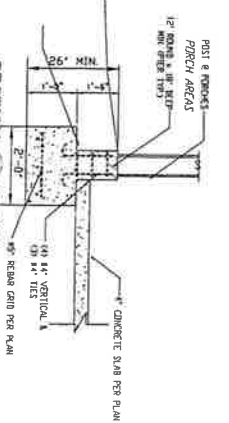
SECTION 5 BEAM POCKET
S1 S2 3/4" x 1'-0"



SECTION 6 CONTROL JOINT
S1 S2 1 1/2" x 1'-0"



CRAWL SPACE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



SECTION D PORCHES
3/4" x 1'-0"

ADVANCED
ADVANCED DESIGN & ENGINEERING, LLC
204 POL STREET
DENVER, COLORADO 80202
719.554.4444
www.advanceddesigneng.com

FOUNDATION PLANS FOR A SINGLE FAMILY RESIDENCE
THE MAGNOLIA MODEL HOME
LEGAL DESCRIPTION: 4854 LISISETTA DR. (COLORADO CITY) COLORADO 81019
LOT 108 UNIT 1 (COLORADO CITY)
PARCEL SCHEDULE # 47-21-81-81-80



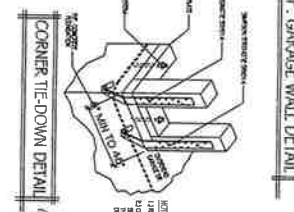
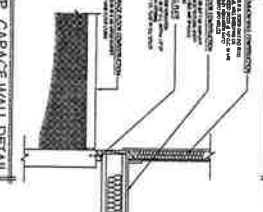
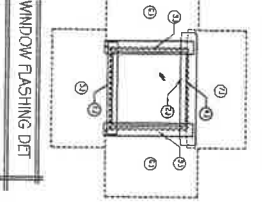
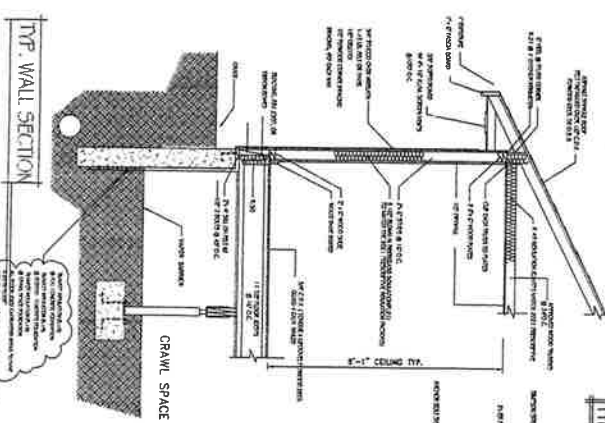
| | |
|---------------|----------------------------------|
| NO. OF SHEETS | 1 OF 2 |
| SHEET NO. | 1 OF 2 |
| DATE | 10/15/2024 |
| PROJECT | THE MAGNOLIA MODEL HOME |
| CLIENT | PARCEL SCHEDULE # 47-21-81-81-80 |
| DESIGNER | DAVID J. SCHMITT |
| CHECKER | DAVID J. SCHMITT |
| DATE | 10/15/2024 |

GENERAL FINISHING NOTES:

- 1) THE FINISHING IS TO BE DONE IN ACCORDANCE WITH THE APPROVALS.
- 2) FINISHING CODE FOR SET OFFTER:
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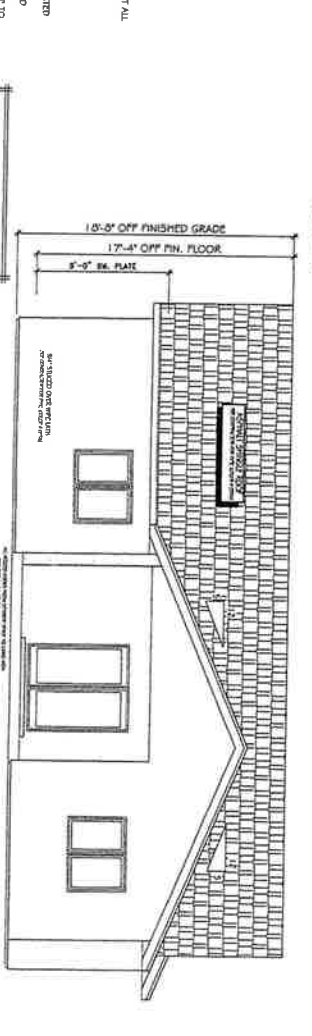
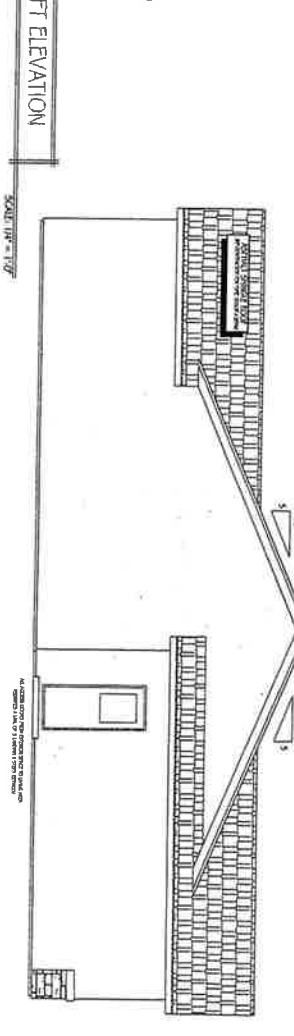
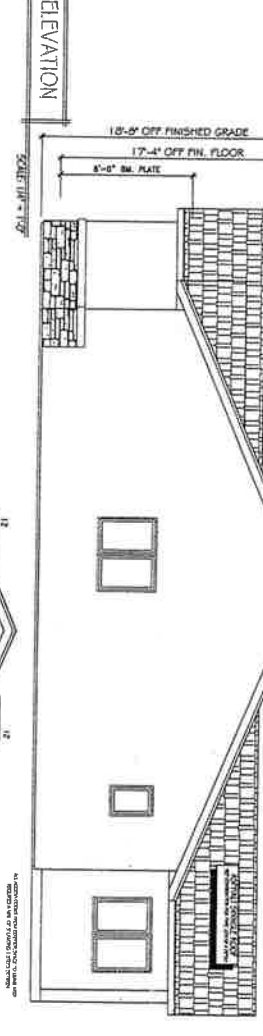
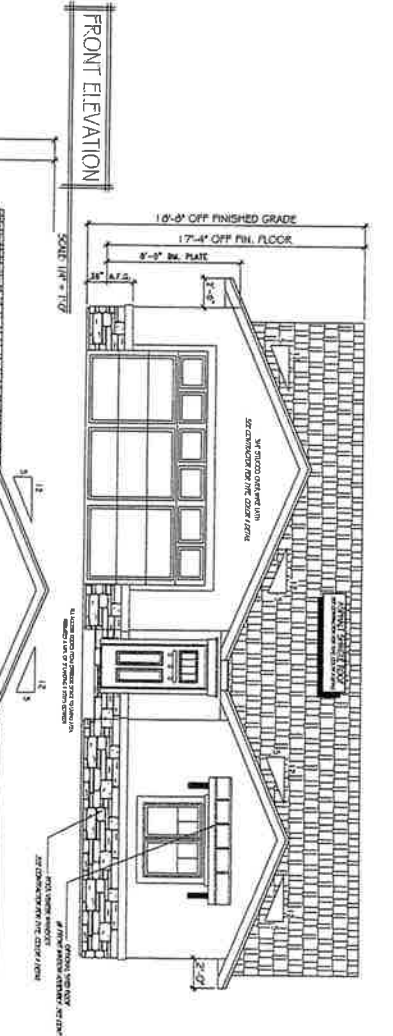
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- ELEVATION STANDARD NOTES**
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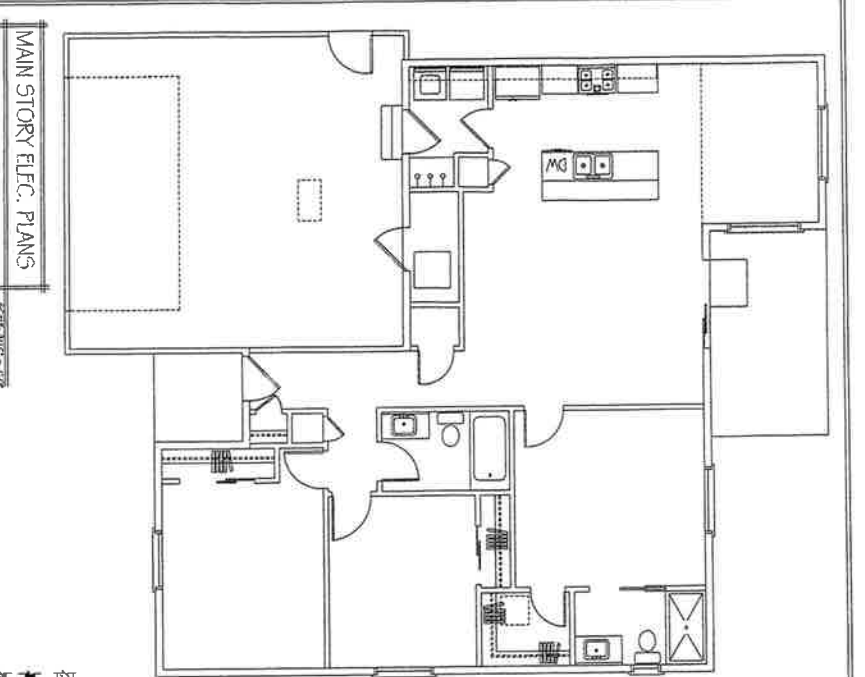


| SCALE | DATE | BY | CHK'D |
|-----------|------|----|-------|
| AS SHOWN | | | |
| ARCHITECT | | | |
| ENGINEER | | | |
| DATE | | | |
| BY | | | |
| CHK'D | | | |

20 of **FIVE**

A SINGLE FAMILY MODEL HOME
THE MAGNOLIA MODEL HOME
 5054 (SABILLA DR. (COLORADO CITY) COLORADO 81019
 LOT 1060 UNIT 1 (COLORADO CITY)
 PARCEL SCHEDULE # 47-231-01-080

ADVANCED
 ARCHITECTURE
 ART. DAVID WERBICH
 705 POOL STREET
 PARKER, COLORADO 81004
 (719) 865-8444
 (719) 865-8444
 (719) 865-8444



MAIN STORY ELEC. PLANS

SCALE: 1/8" = 1'-0"

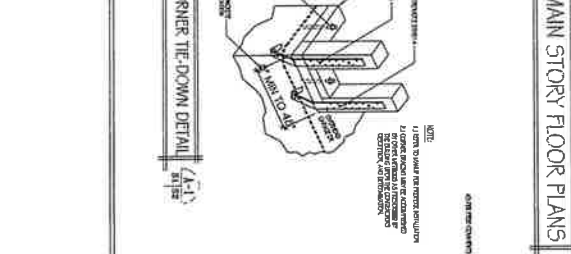
| | |
|----------------------|------|
| WALL PANELS | 1500 |
| CEILING PANELS | 1500 |
| FLOOR PANELS | 1500 |
| DOOR PANELS | 1500 |
| WINDOW PANELS | 1500 |
| STAIR PANELS | 1500 |
| BATH PANELS | 1500 |
| KITCHEN PANELS | 1500 |
| LIVING ROOM PANELS | 1500 |
| DINING AREA PANELS | 1500 |
| COVERED PORCH PANELS | 1500 |
| MASTER SUITE PANELS | 1500 |
| BEDROOM #1 PANELS | 1500 |
| BEDROOM #2 PANELS | 1500 |
| BEDROOM #3 PANELS | 1500 |
| BATH #1 PANELS | 1500 |
| BATH #2 PANELS | 1500 |
| CL. PANELS | 1500 |
| STAIR PANELS | 1500 |
| TOTAL MAIN FLOOR | 1500 |

MAIN STORY FLOOR PLANS

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. SEE ALL DIMENSIONS AND NOTES ON ALL SHEETS.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
4. ALL DOORS ARE 3'-0" WIDE UNLESS NOTED OTHERWISE.
5. ALL WINDOWS ARE 6'-0" WIDE UNLESS NOTED OTHERWISE.
6. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
7. ALL ROOFING IS 1/2" GYP BOARD ON 2" X 6" RAFTERS ON 12" OC TRUSSES UNLESS NOTED OTHERWISE.
8. ALL CEILING IS 5/8" GYP BOARD ON 12" OC TRUSSES UNLESS NOTED OTHERWISE.
9. ALL INTERIORS ARE FINISHED WITH 1/2" GYP BOARD UNLESS NOTED OTHERWISE.
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MAIN STORY FLOOR PLANS

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. SEE ALL DIMENSIONS AND NOTES ON ALL SHEETS.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
4. ALL DOORS ARE 3'-0" WIDE UNLESS NOTED OTHERWISE.
5. ALL WINDOWS ARE 6'-0" WIDE UNLESS NOTED OTHERWISE.
6. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
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MAIN STORY FLOOR PLANS

SCALE: 1/8" = 1'-0"

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3.0 of **FIVE**

SCALE: ARCHITECTURE: 1/8" = 1'-0"
 STRUCTURE: 1/8" = 1'-0"
 MECHANICAL: 1/8" = 1'-0"
 ELECTRICAL: 1/8" = 1'-0"
 PLUMBING: 1/8" = 1'-0"
 HVAC: 1/8" = 1'-0"

A SINGLE FAMILY MODEL HOME

THE MAGNOLIA MODEL HOME

5004 SABELLA RD. COLORADO CITY, COLORADO 81010
 LOT 1060 UNIT 1 (COLORADO CITY)
 PARCEL SCHEDULE # 47-231-01-000

ADVANCED
 ARCHITECTURE, INC.

ATT: PAUL WERNER
 3702 1/2 S. STREET
 PUEBLO, COLORADO 81008
 (719) 244-2244
 (719) 244-2244 FAX
 WWW.ADVANCEDARCHITECTURE.COM

GENERAL FINISHING NOTES:

- 1) THE PROJECT IS TO BE CONSTRUCTED WITH THE FOLLOWING:
- 2) FOUNDATION:
 - a. EXTERIOR: 18" WIDE
 - b. INTERIOR: 12" WIDE
- 3) FLOOR FINISH:
 - a. 1 1/2" THICK
 - b. 1 1/2" THICK
 - c. 1 1/2" THICK
- 4) INTERIORS:
 - a. WALLS: 5/8" THICK
 - b. CEILING: 5/8" THICK
 - c. FLOOR: 1 1/2" THICK
 - d. DOOR: 1 3/4" THICK
 - e. WINDOW: 1 3/4" THICK
- 5) EXTERIORS:
 - a. ROOF: 1 1/2" THICK
 - b. GUTTER: 6" WIDE
 - c. DOWNSPUT: 4" WIDE
 - d. DRIVEWAY: 4" WIDE
 - e. PORCH: 4" WIDE
 - f. PATIO: 4" WIDE
 - g. WALKWAY: 4" WIDE
 - h. STAIR: 4" WIDE
 - i. RAMP: 4" WIDE
 - j. CURB: 4" WIDE
 - k. SLOPE: 1:12
 - l. FINISH: 1 1/2" THICK
 - m. CURB: 4" WIDE
 - n. SLOPE: 1:12
 - o. FINISH: 1 1/2" THICK
 - p. CURB: 4" WIDE
 - q. SLOPE: 1:12
 - r. FINISH: 1 1/2" THICK
 - s. CURB: 4" WIDE
 - t. SLOPE: 1:12
 - u. FINISH: 1 1/2" THICK
 - v. CURB: 4" WIDE
 - w. SLOPE: 1:12
 - x. FINISH: 1 1/2" THICK
 - y. CURB: 4" WIDE
 - z. SLOPE: 1:12

SECTION 3 COLUMN PAD



SECTION 2 GARAGE WALL



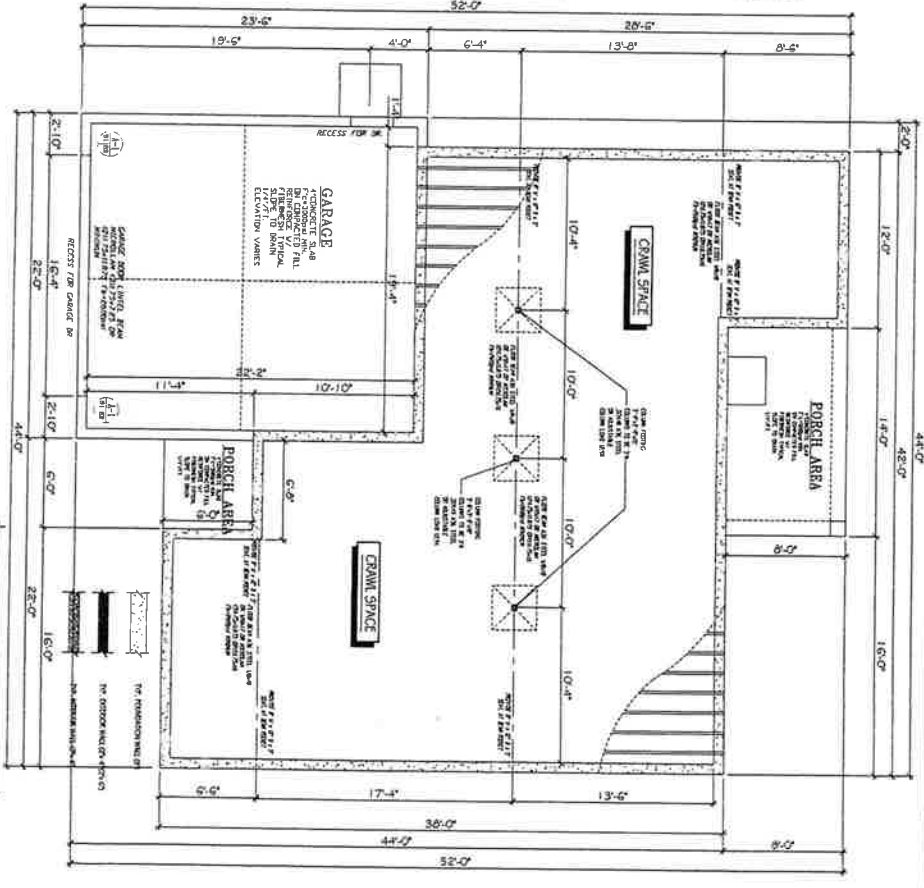
SECTION 1 GARAGE DOOR



SECTION 4 CRAWL SPACE WALL



CROSS SECTION



GENERAL NOTES

- 1) FOUNDATION: 18" WIDE EXTERIOR, 12" WIDE INTERIOR.
- 2) FLOOR FINISH: 1 1/2" THICK.
- 3) INTERIORS: WALLS 5/8" THICK, CEILING 5/8" THICK, FLOOR 1 1/2" THICK, DOOR 1 3/4" THICK, WINDOW 1 3/4" THICK.
- 4) EXTERIORS: ROOF 1 1/2" THICK, GUTTER 6" WIDE, DOWNSPUT 4" WIDE, DRIVEWAY 4" WIDE, PORCH 4" WIDE, PATIO 4" WIDE, WALKWAY 4" WIDE, STAIR 4" WIDE, RAMP 4" WIDE, CURB 4" WIDE, SLOPE 1:12, FINISH 1 1/2" THICK.

ELECTRICAL NOTES

- 1) PROVIDE ALL WIRING FOR ALL ELECTRICAL, COMMUNICATION, AND DATA SERVICES.
- 2) PROVIDE ALL WIRING FOR ALL ELECTRICAL, COMMUNICATION, AND DATA SERVICES.
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A SINGLE FAMILY MODEL HOME
for THE MAGNOLIA MODEL HOME
 5044 ISABELLA DR. (COLORADO CITY) COLORADO 81013
 LOT 1050 UNIT 1 (COLORADO CITY)
 PARCEL SCHEDULE # 47-231-01-000

ADVANCED
 ARCHITECTURE, LLC
 705 FOX STREET
 AT, DAVE WEIRICH
 1000 FOX STREET
 81013-2000
 (719) 532-4242
 (719) 532-4242
 Bids@advancedarch.com
 www.advancedarch.com

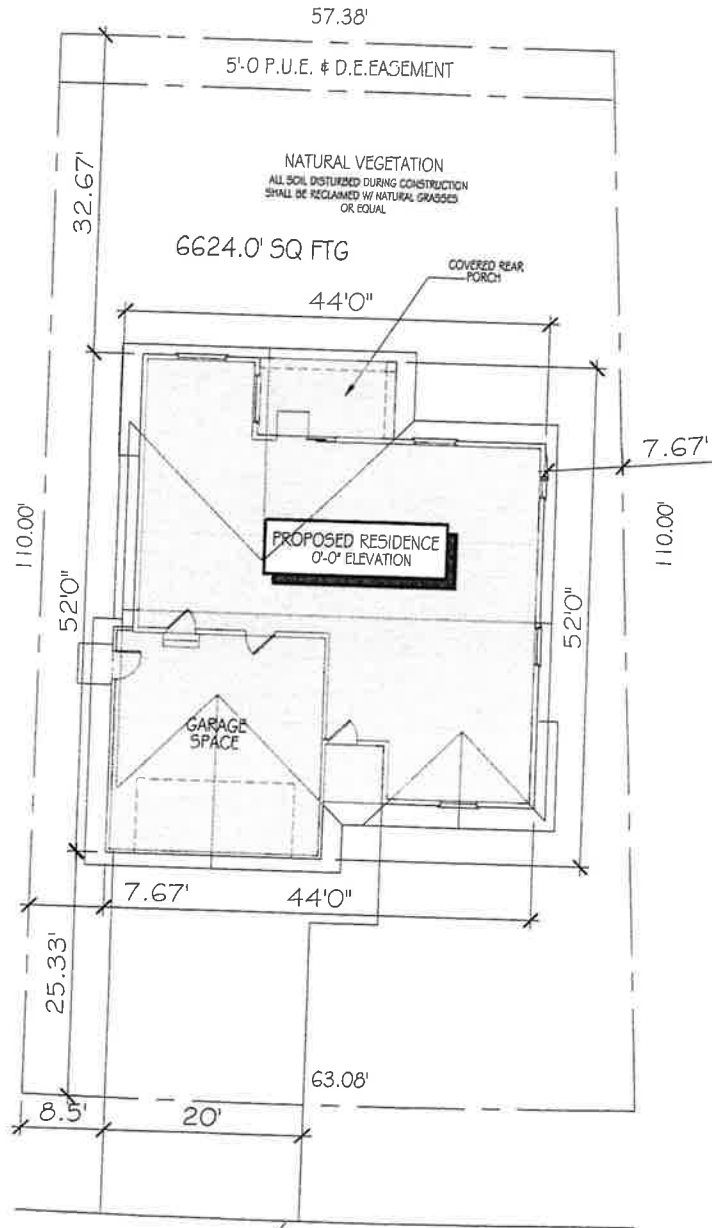
PROVIDED BY THE
 ARCHITECT FOR THE
 OWNER'S INFORMATION
 ONLY. THIS DOCUMENT
 DOES NOT CONSTITUTE
 A CONTRACT. THE
 CONTRACT IS THE
 ARCHITECTURAL
 AGREEMENT AND THE
 SCHEDULE OF VALUES.

SCALE: AS SHOWN
 DRAWING
 SHEET
 NO. 0000
 DATE: 00/00/00

40
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PUEBLO COUNTY DEPARTMENT OF PLANNING
AND ZONING CHECKLIST

| | | |
|----------|--|---|
| INCLUDED | ASSESSOR'S PARCEL NUMBER | PARCEL SCHEDULE # 47-231-01-080 |
| INCLUDED | SQUARE FOOTAGE OF PROPOSED STRUCTURE | MAIN STORY LIVING 1318.0' TOTAL BUILDING SQ FT 1983.0' |
| N/A | SQUARE FOOTAGE OF EXISTING STRUCTURE | N/A |
| INCLUDED | STRUCTURE HEIGHT | 12'-0" OFF GRADE (RESIDENCE) |
| N/A | LOCATION & SIZE OF EXISTING FENCES, WALLS | N/A |
| INCLUDED | DIMENSIONS OF THE PARCEL | SEE PLOT |
| INCLUDED | EASEMENTS/BUILDING SETBACK LINES | SEE PLOT |
| INCLUDED | LEGAL DESCRIPTION | LOT 1060 UNIT 1 (COLORADO CITY) |
| INCLUDED | ADDRESS OF PROPERTY | 5084 ISABELLA DR. (COLORADO CITY) COLORADO 81019 |
| N/A | STREET NAME AND ADJACENT STREET | N/A |
| INCLUDED | NORTH ARROW | SEE PLOT |
| INCLUDED | ALL LOCATIONS & DISTANCES TO PROP. STRUCTURES | SEE PLOT |
| N/A | LOCATION & DISTANCES TO EXISTING STRUCTURES IF APPL. | N/A |



SITE AND LOT INFO

| | |
|---------------------|---------------------------------|
| LOT AREA SQ FT: | 6624.0 SQ FT. |
| LOT AREA ACREAGE: | .152 ACRES |
| ZONE: | R-2 |
| ADDRESS: | 5084 ISABELLA DR. |
| PARCEL: | PARCEL SCHEDULE # 47-231-01-080 |
| RESIDENCE SQ FTG: | 1318.0' UNDER AIR |
| GARAGE SQ FTG: | 517.0' SQ FT. |
| FRONT YARD SETBACK: | SEE PLAN |
| SIDE YARD SETBACKS: | SEE PLAN |
| REAR YARD SETBACKS: | SEE PLAN |



N

PLOT PLAN LANDSCAPE

SCALE: 1" = 20'-0"

PROPOSED 20' FT. WIDE PAN W/
6" MIN. CONCRETE AT RIGHT OF WAY
DRIVE SHALL EXTEND FROM CONCRETE PAD
TO EXISTING ROAD (SEE CONTRACTOR FOR DETAIL)

5084 ISABELLA DR. (COLORADO CITY) COLORADO 81019

| | |
|--------------------|--|
| BUILDER/OWNER: | THE MAGNOLIA MODEL HOME |
| DATE: | 5-2026 |
| ADDRESS: | 5084 ISABELLA DR. (COLORADO CITY) COLORADO 81019 |
| LEGAL DESCRIPTION: | LOT 1060 UNIT 1 (COLORADO CITY) PARCEL SCHEDULE # 47-231-01-080 |

ATT. DAVE WEHRICH
702 POLK STREET
PUEBLO, COLORADO 81004
(719) 299-4784 fax
(719) 240-9468 cell
(719) 744-0544 office
EMAIL-dave@advanceddb.com
EMAIL-david.wehrich@yahoo.com



Date 4-28-20

NO. C-250

CCAAC Complaint Report

Disclaimer: If there is not enough information to follow up on this complaint, it may be dismissed until additional information is submitted.

Name of Complainant: Luann Vandyne

Telephone: 719-506-7960 Email: _____

Complaint RV parked off Kaneache St. North of Lake
Junk piled outside RV.

Property Address _____

Parcel# 47-221-33-066 Unit 33 Lot 62 Zoning: County SR2 CCMD _____

Property Owner Aaron D. Krings

Owner Address 9223 Squirrel Creek Rd, Beulah, CO 81023

CCAAC Recommendation

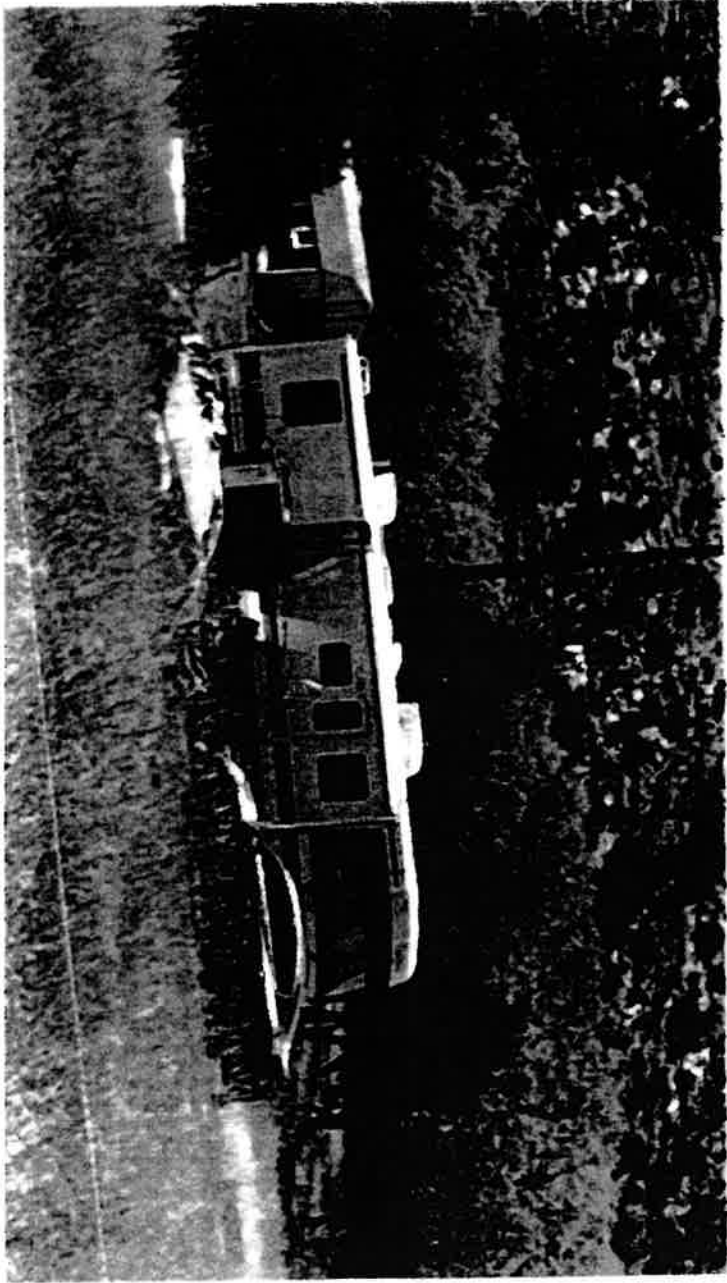
No Action Explanation _____

Title 8 — Pueblo County Health and Safety Risk Reference _____
Explanation _____

Title 17 — Pueblo County Zoning Violation Reference 17.03.050 17.03.040(k)
Explanation Recreational Vehicle as Temporary Housing (b)
Primitive Camping zone SR2 - (k)(2)(i)

Colorado City - Covenant Violation Reference Unit 33, 1, 2, 6, 7, 9,
Explanation _____

CCAAC Response Recommendation Remove camper and return
to original condition.



Date 5-11-26

NO C-252

CCAAC Complaint Report

Disclaimer: If there is not enough information to follow up on this complaint, it may be dismissed until additional information is submitted.

Name of Complainant: Bill Dickerson

Telephone: 719-225-0323 Email: _____

Complaint Camper Trailer on Little Raven Dr.

Property Address On W side of Little Raven Dr.

Parcel# 47-224-08-094 Unit S Lot 297 Zoning: County SR2 CCMD _____

Property Owner Melvin Ortiz

Owner Address 3900 Azalea St. Pueblo, CO 81005

CCAAC Recommendation

No Action Explanation _____

Title 8 — Pueblo County Health and Safety Risk Reference Pueblo County Fire Restriction
Explanation No Trash burning or burn barrels in Stage 1 or 2 Restrictions

Title 17 — Pueblo County Zoning Violation Reference 17.03.040(K)(2)
Explanation _____

Colorado City - Covenant Violation Reference Said Conditions, 1, 4, 8, 11,
Explanation ~~Rules & Regs~~

CCAAC Response Recommendation Remove camper, Cease all burning in fire pit or burn barrel





**COLORADO CITY METROPOLITAN DISTRICT
PUBLIC NOTICE
BOARD OF DIRECTORS STUDY SESSION**

A study session for the Board of Directors of the Colorado City Metropolitan District will be held Tuesday May 12, 2026, beginning at 6:00 p.m.

1. Information for Public meeting DAF: Placed in your books.
2. Information for Public Meeting Baseball and Football fields Fees: All fees are placed together.
3. Training day and Employee appreciation May 22, 2026: This is a BBQ and training. The BBQ is also for the Board Members and their spouses to attend. Lunch is usually around 11:30 with hamburgers, hotdogs, sides, and drinks.
4. Dam Inspection Report and letter for restriction: This is for Mark Perry. They gave us an extra foot. We need to sweep the river. We have lost about half foot of water a week. We are not using any pumps currently. We need to save as much water to save the wells. The reason for the issue with the dam state requires us to draw down 4' within 72 hours. We would need over 6.75 to draw water. We have daily inspections, with any changes being documented and sent to Mr. Perry. Jim will do a monthly report.
5. VFD for Wet Well Pumps: This will be like what we did on the sewer plant, dropping the electric cost in half. VFD pays itself in less than 1 year by direct savings and man hour. It is about \$20,000 to purchase. Running on demand to water usage. The wet well pumps will be upgraded to produce higher flow rates.
VFD = Variable Frequency Drive
We have quotes on different VFDs and are trying to keep equipment alike.
The quote for furnishing and insulation is by A-Squared.
We are keeping things as concise and tight as possible.
A-Squared and Jensen are familiar with our plants.
We feel now is a good time to do this since we are going to be going into Tank 1 again.
6. CCAAC Review: Application Corrections: C225, Jordan Bird plans on doing a survey with BH2. This may be next week before it gets scheduled.
C-231, A to Z said the abandoned RV could possibly get towed tomorrow morning. Bob will be taking pictures. A to Z is trying to get this at zero charge but we could possibly be looking at \$650 for the tow.
C-222, Nowroozi, the abandoned shack, RV coach and pickup have not been towed. Haven't found a tow company that will tow the RV coach. Nobody has been notified yet. Mr. Ayoub will give Bob some information on who to contact.

Covenant signs have not been mounted yet; Bob has been trying to get with the health Department.

Graneros Road entrance to Colorado City Metro property, Mr. Elliot has been talking to the owner.

Parking is becoming an issue at the baseball fields. Bob was thinking about a sign being posted "Must go around" but Mr. Elliot states this would be up to Josh.

The board stated that any signs do not need to be brought up to the board for approval.

Mr. Davis would like to see Josh make an online calendar for Parks and Rec so the public can see what is available and be able to go online to book. If Josh decides he wants to do this, Mr. Sievert said he would help with this.

1 New building at 4100 Lincoln Ct

2 New Fences on Olympus and Vigil

1 New Complaint letter.

The house on Palumar needs to go off the line on Palumar and asking for a rebate on the water tap.

7. **READING BY CHAIRPERSON OF THE STATEMENT OF CONDUCT AND Demeanor:**

8. **CITIZENS INPUT:** Julie Gunkel joined us this evening with concerns about the letter of water she received with her bill. Any further risks and how they are assured there are follow-ups. Jim informed her it was a sanitary survey. We replaced our computer/tower and after doing so, someone broke in and stole it. The sanitary survey wanted to go back 7 years, and we were only able to go back 5 years leading to a letter being sent every quarter.

She also wanted to know about covenant violations, the 4 letters that went out C247, C248, and C2. why we withheld C246 and what happens when they do not comply. Jim stated that C246 was handled by the County and after multiple letters go out a fine is involved. If they do not pay the fine, then it will get added to their taxes. The only other action to take would be to file a lawsuit and that means more money. She understood and appreciated the information.

BOARD OF DIRECTORS REGULAR MEETING

A regular meeting of the Board of Directors of the Colorado City Metropolitan District will be held on Tuesday May 12, 2026, beginning at 6:15 p.m.

1. **CALL TO ORDER:** Chairman Elliot called the meeting to order at 6:41pm.

2. **PLEDGE OF ALLEGIANCE:**

3. **MOMENT OF SILENT REFLECTION:**

4. **QUORUM CHECK:** Chairperson: Neill Elliot
Board Member: Greg Bailey
Board Member: Bob Sievert
Board Member: Karim Ayoub
Board Member: Ray Davis

Also in Attendance:
Jim Eccher: District Manager
Cristy Adams: Finance Manager
Roberta Anderson: A/R Reception
Gary Golladay: Water/Sewer
Bob Smith: CCAAC
Josh Briggs: Parks/Rec

5. **PUBLIC HEARINGS: DAF possible rate increase and finance plan:** Nocco – Mr. Jacobs, follow up on what we did last year. Looking at applying for state loans. Pretreatment and standalone. He is making progress on funding. USDA-RD is one of the lead choices and has received final documents. DWSRF, another lead choice is due on 6/5/26. We should hear back on the first week of August. The time frame to complete is 2 to 2 ½ years. The project Pricing is \$25,543,000. Joining us via zoom was Scott with Colorado Rural Water.

Worst-case scenario rate increase

| | |
|------------------------|----------|
| 2026 – Base Charge: | \$37.37 |
| 1-5,000 gallons: | \$7.63 |
| 5,001-15,000 gallons: | \$9.92 |
| 15,001-35,000 gallons: | \$11.90 |
| 35,001-above: | \$15.49 |
| | |
| 2027-Base Charge: | \$97.16 |
| 1-5,000 gallons: | \$22.89 |
| 15,001-35,000 gallons: | \$35.70 |
| 35,001-above: | \$46.47 |
| | |
| 2028 – Base Charge: | \$106.88 |
| 1-5,000 gallons: | \$25.18 |
| 5,001-15,000: | \$32.74 |
| 15,001-35,000: | \$39.27 |
| 35,001-above: | \$51.12 |

2029 with USDA taking over the loan to meet 110%
Depending on lenders and interest rates, cost savings after 2029
SUP will be amended.

Approximately 6 acres in total, with lights in new parking lot.

Substantial completion in December 2029.

Final drawings August 2026

Permits complete August 2026

Initial advertisement for bids December 2026

Award contracts January 2027

Construction contract February 2027

Final payment January 2030

Setting of Fees for Baseball and Football Fields: We are looking at these rates because we are trying to keep our own kids on the field. We need to keep in mind the upkeep, maintenance, and new turf. We have only 1 field that is locked, the other fields are public access. This is all nonprofit. These fields are proud in our community.

Chairman Elliot closes the Public Hearing and opens the Regular Meeting at 7:36pm

APPROVAL OF AGENDA: Mr. Sievert makes a motion to accept the agenda, Mr. Ayoub 2nd the motion.

Chairman Elliot calls the vote. All Board Members are in favor.

7. **APPROVAL OF MINUTES:** Mr. Ayoub makes a motion to accept the minutes, Mr. Bailey 2nd the motion. Chairman Elliot calls the vote. All Board Members are in favor.

8. **BILLS PAYABLE:** Mr. Sievert makes a motion to pay the bills, Mr. Ayoub 2nd the motion. Chairman Elliot calls the vote. All Board Members are in favor.

9. **FINANCIAL REPORT:** N/A

10 **OPERATIONAL REPORTS:**

a. Beckwith Dam report: Readings are staying around the same at 12.5.

b. Committee Reports: Newsletter April Greg

Hollydot: Gauged 2.2" of rainfall for the month of April, the greens have been fertilized, and the driving range is complete.

Golf Pro: April 2025...\$54,113...Year to date: \$227,810

April 2026...\$72,289...Year to date: \$303,117

The golf Course needs to be on well only. The lake is going down slowly, and it's time to start looking into restrictions with fines if needed.

Ayden had his first class. He and his team have been working on equipment maintenance, filter changes, and have had one meter replacement.

Swimming pool will open on June 2, 2026

11. **ATTORNEYS REPORT:** N/A

12. **AGENDA ITEMS:**

Resolution 5-2026 Resolution setting fees and rates Discussion/Action

For Baseball/Soccer field Mr. Davis makes a motion to accept the agenda, Mr. Ayoub 2nd the motion. Mr. Sievert added the date change effective 5/13/26. Mr. Ayoub and Mr. Ayoub accepted the Amendment. Mr. Bailey-yes, Mr. Ayoub-yes, Mr. Sievert-yes, Mr. Davis-yes, Chairman Elliot-yes.

DAF Approval of requesting WSRF Finance Plan Discussion/Action

To put in the application for grant and loan, no commitment, review process

Mr. Sievert makes a motion to accept the DAF approval, Mr. Davis 2nd the motion, Mr. Davis-yes Mr. Sievert-yes, Mr. Bailey-yes, Mr. Ayoub-yes, Chairman Elliot-yes.

VFD for Wet Well Pumps

Discussion/Action

A-Squared proposal we can justify.

Mr. Ayoub makes a motion to accept VFD, Mr. Bailey 2nd the motion, Mr. Ayoub-yes, Mr. Sievert-yes, Mr. Davis-yes, Mr. Bailey-yes, Chairman Elliot-yes.

13. **OLD BUSINESS:**

Goals and achievement Plan: N/A

Strategic plan: N/A

Ranch Water: Tye is back in town now. Jim will get with him about going through his property.

Rosemont And Camelot: N/A

Meter Changeout: N/A

Water loss: N/A

Water Survey and Leak Detection: Still working on.

Meter Towers: Chairman Elliot has not heard back from American Towers.

14. NEW BUSINESS: Jim received a call from the contractor on Palumar. He thought he could tie it into the water line from Mcannich. He is asking for help or assistance with the tap fee.

Mr. Ayoub makes a motion to not help and give no rebate, Mr. Bailey 2nd the motion, Mr. Bailey-yes, Mr. Ayoub-yes
Mr. Sievert-yes, Mr. Davis-yes, Chairman Elliot-yes.

Mr. Ayoub created County code and will get with Jim to put up a work session. This should not affect our budget
Should have ready for the first meeting in June to propose to the board.

No approval of RJH plans.

SWCA cultural survey on May 18. Cost is \$10,000-\$13,000 or more. If FEMA has funds, they will pay for it.

15. CCACC :

A. CCACC:

- | | |
|------------------------|-------|
| 1. 5910 Olympus Drive | Fence |
| 2. 4905 N. Vigil Drive | Fence |
| 3.4000 Lincoln Court | House |

Group together and approve all at one time.

Mr. Davis makes a motion to approve all, Mr. Sievert 2nd the motion, Mr. Davis-yes, Mr. Sievert-yes,
Mr. Bailey-yes, Mr. Ayoub-yes, Chairman Elliot-yes.

Palumar Home- Mr. Davis stated they all were told it would have a stem wall foundation in which
Mr. Davis has noticed it does not. Right now, it is in mobile form sitting on a chase. Can we cease and
assist?

Mr. Ayoub said the person to contact is Arnold Montoya.

Jim will contact the contractor and tell him he needs to follow through.

Chairman Elliot and Jim stated we would be able to put a cease and assist in order. The first step should be
to put in a complaint with CCAAC. Pueblo Building also has that on file.

B. Actions

- a. 1 First Letters: Mr. Sievert makes a motion to send letter, Mr. Davis 2nd the motion, Chairman Elliot
calls the vote, all Board Members are in favor.
- b. 0 Second letters:
- c. 0 Third letters:
- d. 0 Unauthorized Structure:

16. CORRESPONDENCE: Reminder Community Clean Up is June 6 at the Rec Center.
Cultural Survey is May 18.
Round Table Meeting is June 17.
Environmental is May 19.

17. EXECUTIVE SESSION:

18. ADJOURNMENT: Mr. Ayoub makes a motion to adjourn the meeting, Mr. Bailey 2nd the motion, Chairman Elliot
Chairman Elliot adjourns the meeting at 8:30pm

Neil Elliot, Chairman

ATTEST:

Robert Sievert, Treasure

These minutes are not verbatim to the meeting and should not be considered a complete record of all discussions during the meeting. For complete proceedings and statements, please refer to the video or audio recording of the meeting

Report Criteria:

Report type: GL detail
Check.Type = {<-} "Adjustment"

| GL Period | Check Issue Date | Check Number | Payee | Description | Invoice GL Account | Invoice Amount | Check Amount |
|--------------|------------------|--------------|---------------------------------|---|--------------------|----------------|--------------|
| 39862 | | | | | | | |
| 05/26 | 05/26/2026 | 39862 | A to Z Towing LLC | Towing of RV: Estelle Dr/CCAAC | 01-0100-7123 | 650.00 | 650.00 |
| Total 39862: | | | | | | | 650.00 |
| 39863 | | | | | | | |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel HollyDot Carts/GC | 04-0100-7151 | 894.69 | 894.69 |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel/P&R | 01-0208-7151 | 544.05 | 544.05 |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel/RDS | 01-6000-7151 | 230.18 | 230.18 |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel/WTP | 02-0100-7151 | 732.38 | 732.38 |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel/WWTP | 03-0100-7151 | 460.35 | 460.35 |
| 05/26 | 05/26/2026 | 39863 | Acorn Petroleum | Fuel/Adm | 01-0100-7151 | 125.55 | 125.55 |
| Total 39863: | | | | | | | 2,987.20 |
| 39864 | | | | | | | |
| 05/26 | 05/26/2026 | 39864 | Ayden Gillund | Personal Reimb: Battery Trans Pump, H | 01-6000-7150 | 15.41 | 15.41 |
| 05/26 | 05/26/2026 | 39864 | Ayden Gillund | Personal Reimb: Battery Trans Pump, H | 02-0100-7156 | 15.41 | 15.41 |
| 05/26 | 05/26/2026 | 39864 | Ayden Gillund | Personal Reimb: Battery Trans Pump, H | 03-0100-7150 | 15.40 | 15.40 |
| Total 39864: | | | | | | | 46.22 |
| 39865 | | | | | | | |
| 05/26 | 05/26/2026 | 39865 | BUFFALO BRAND SEED | Perennial Ryegrass/GCM | 04-0201-7150 | 740.00 | 740.00 |
| Total 39865: | | | | | | | 740.00 |
| 39866 | | | | | | | |
| 05/26 | 05/26/2026 | 39866 | CenturyLink | Advertising/GC | 04-0100-7110 | 12.21 | 12.21 |
| Total 39866: | | | | | | | 12.21 |
| 39867 | | | | | | | |
| 05/26 | 05/26/2026 | 39867 | Cintas Corporation #562 * | Janitorial Svs/GCM | 04-0201-7122 | 117.60 | 117.60 |
| Total 39867: | | | | | | | 117.60 |
| 39868 | | | | | | | |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | Testing: Radium 226 & 228, Total Mtl's by | 02-0100-7122 | 1,117.40 | 1,117.40 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | Ammonia Nitrogen & Cooler Shpmt/WW | 03-0100-7122 | 55.00 | 55.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TSS, Potentially Dissolved Metals by ICP | 03-0100-7122 | 100.00 | 100.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TOC x 6/WTP | 02-0100-7122 | 222.00 | 222.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TSS, Potentially Dissolved Metals by ICP | 03-0100-7122 | 100.00 | 100.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TOC x 6/WTP | 02-0100-7122 | 222.00 | 222.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | Ammonia Nitrogen & Cooler Shpmt/WW | 03-0100-7122 | 55.00 | 55.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | 524.2 TTHMS & 552.2 HAA5/WTP | 02-0100-7122 | 220.00 | 220.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | Ammonia Nitrogen & Cooler Shpmt/WW | 03-0100-7122 | 55.00 | 55.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TOC x 6/WTP | 02-0100-7122 | 222.00 | 222.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | TSS, Potentially Dissolved Metals by ICP | 03-0100-7122 | 100.00 | 100.00 |
| 05/26 | 05/26/2026 | 39868 | Colorado Analytical Laboratorie | BOD-5, Total Phosphorus, TSS, Pot Diss | 03-0100-7122 | 183.00 | 183.00 |
| Total 39868: | | | | | | | 2,651.40 |

| GL Period | Check Issue Date | Check Number | Payee | Description | Invoice GL Account | Invoice Amount | Check Amount |
|--------------|------------------|--------------|------------------------------|--|--------------------|----------------|--------------|
| 39869 | | | | | | | |
| 05/26 | 05/26/2026 | 39869 | Core & Main LP | Ball Crop Stop & SS CTS Inserts/WTP | 02-0100-7720 | 1,628.80 | 1,628.80 |
| Total 39869: | | | | | | | 1,628.80 |
| 39870 | | | | | | | |
| 05/26 | 05/26/2026 | 39870 | Dietz and Davis, P.C. | Prof MTTR #10949-012/WWTP | 03-0100-7141 | 2,770.00 | 2,770.00 |
| 05/26 | 05/26/2026 | 39870 | Dietz and Davis, P.C. | Prof MTTR #10949-015/CCAAC | 01-0100-7123 | 266.00 | 266.00 |
| 05/26 | 05/26/2026 | 39870 | Dietz and Davis, P.C. | Prof MTTR #10949-024-DAF/GAC/WTR | 02-0100-7141 | 1,504.00 | 1,504.00 |
| 05/26 | 05/26/2026 | 39870 | Dietz and Davis, P.C. | Prof MTTR #10949-026/ADM | 01-0100-7141 | 319.00 | 319.00 |
| 05/26 | 05/26/2026 | 39870 | Dietz and Davis, P.C. | Prof MTTR #10949-027 USDA Funding- | 02-0100-7141 | 6,319.50 | 6,319.50 |
| Total 39870: | | | | | | | 11,178.50 |
| 39871 | | | | | | | |
| 05/26 | 05/26/2026 | 39871 | FEDEX | Transport Samples/WTP | 02-0100-7150 | 52.56 | 52.56 |
| 05/26 | 05/26/2026 | 39871 | FEDEX | Transport Samples/WWTP | 03-0100-7150 | 52.56 | 52.56 |
| 05/26 | 05/26/2026 | 39871 | FEDEX | Transport Samples/WTP | 02-0100-7150 | 19.09 | 19.09 |
| 05/26 | 05/26/2026 | 39871 | FEDEX | Transport Samples/WWTP | 03-0100-7150 | 19.09 | 19.09 |
| Total 39871: | | | | | | | 143.30 |
| 39872 | | | | | | | |
| 05/26 | 05/26/2026 | 39872 | FilmTec Corporation | VFD for Skid 2/WTP | 02-0100-7150 | 4,900.00 | 4,900.00 |
| Total 39872: | | | | | | | 4,900.00 |
| 39873 | | | | | | | |
| 05/26 | 05/26/2026 | 39873 | Fortiline, Inc. | Various Clamps x 10/WTPM | 02-0100-7720 | 6,086.00 | 6,086.00 |
| 05/26 | 05/26/2026 | 39873 | Fortiline, Inc. | 18" M294 Pipe x 40 & 18" Flrd Ends/RDS | 01-6000-7720 | 2,301.62 | 2,301.62 |
| Total 39873: | | | | | | | 8,387.62 |
| 39874 | | | | | | | |
| 05/26 | 05/26/2026 | 39874 | Garren, Ross & DeNardo, Inc. | Professional Svcs-Audit 2024/ADM | 01-0100-7140 | 27,393.82 | 27,393.82 |
| 05/26 | 05/26/2026 | 39874 | Garren, Ross & DeNardo, Inc. | Professional Svcs-Audit 2024/P&R | 01-0208-7140 | 4,696.08 | 4,696.08 |
| 05/26 | 05/26/2026 | 39874 | Garren, Ross & DeNardo, Inc. | Professional Svcs-Audit 2024/WTP | 02-0100-7140 | 7,044.13 | 7,044.13 |
| Total 39874: | | | | | | | 39,134.03 |
| 39875 | | | | | | | |
| 05/26 | 05/26/2026 | 39875 | JC Golf Accessories | Pencils/GC | 04-0100-7150 | 363.57 | 363.57 |
| Total 39875: | | | | | | | 363.57 |
| 39876 | | | | | | | |
| 05/26 | 05/26/2026 | 39876 | L.L. Johnson Distributing Co | 1-1/2" Swing Joints/GCM | 04-0201-7150 | 560.61 | 560.61 |
| 05/26 | 05/26/2026 | 39876 | L.L. Johnson Distributing Co | Irrigation Valves/P&R | 01-0208-7150 | 433.28 | 433.28 |
| Total 39876: | | | | | | | 993.89 |
| 39877 | | | | | | | |
| 05/26 | 05/26/2026 | 39877 | Morgan Reiners | Personal Reimb: DOT Physical/WTP | 02-0100-6320 | 78.00 | 78.00 |
| 05/26 | 05/26/2026 | 39877 | Morgan Reiners | Personal Reimb: DOT Physical/WWTP | 03-0100-6320 | 78.00 | 78.00 |
| Total 39877: | | | | | | | 156.00 |

| GL Period | Check Issue Date | Check Number | Payee | Description | Invoice GL Account | Invoice Amount | Check Amount |
|---------------|------------------|--------------|----------------------------|---|--------------------|----------------|--------------|
| 39878 | | | | | | | |
| 05/26 | 05/26/2026 | 39878 | PipeMan Products, Inc. | 20# Alum CO2 Cyl & CST-2 Cold Shot Ki | 02-0100-7184 | 1,096.00 | 1,096.00 |
| Total 39878: | | | | | | | 1,096.00 |
| 39879 | | | | | | | |
| 05/26 | 05/26/2026 | 39879 | Precision Hydraulics, Inc. | Fitting, 3/4" Hose & Guard Wrap/WTPM | 03-0100-7184 | 58.14 | 58.14 |
| Total 39879: | | | | | | | 58.14 |
| 39880 | | | | | | | |
| 05/26 | 05/26/2026 | 39880 | Procom LLC | Pre-Employment Screening/RDS | 01-6000-7122 | 20.34 | 20.34 |
| 05/26 | 05/26/2026 | 39880 | Procom LLC | Pre-Employment Screening/WTPM | 02-0100-7126 | 20.33 | 20.33 |
| 05/26 | 05/26/2026 | 39880 | Procom LLC | Pre-Employment Screening/WWTP | 03-0100-7122 | 20.33 | 20.33 |
| Total 39880: | | | | | | | 61.00 |
| 39881 | | | | | | | |
| 05/26 | 05/26/2026 | 39881 | QA Balance Services, Inc. | Balance Calibration/WWTP | 03-0100-7122 | 135.00 | 135.00 |
| Total 39881: | | | | | | | 135.00 |
| 39882 | | | | | | | |
| 05/26 | 05/26/2026 | 39882 | Robert L Sievert | Personal Reimb: 85" TV for Board Mtgs/ | 01-0100-7186 | 607.40 | 607.40 |
| Total 39882: | | | | | | | 607.40 |
| 39883 | | | | | | | |
| 05/26 | 05/26/2026 | 39883 | ULine | Rolls for Filter Bags/WTP | 02-0100-7150 | 540.81 | 540.81 |
| 05/26 | 05/26/2026 | 39883 | ULine | Black Poly Tubing, Sealer & Svc Kit/WTP | 02-0100-7150 | 464.96 | 464.96 |
| Total 39883: | | | | | | | 1,005.77 |
| Grand Totals: | | | | | | | 77,053.65 |

Summary by General Ledger Account Number

| GL Account | Debit | Credit | Proof |
|--------------|-----------|------------|------------|
| 01-0000-2110 | .00 | 37,602.73- | 37,602.73- |
| 01-0100-7123 | 916.00 | .00 | 916.00 |
| 01-0100-7140 | 27,393.82 | .00 | 27,393.82 |
| 01-0100-7141 | 319.00 | .00 | 319.00 |
| 01-0100-7151 | 125.55 | .00 | 125.55 |
| 01-0100-7186 | 607.40 | .00 | 607.40 |
| 01-0208-7140 | 4,696.08 | .00 | 4,696.08 |
| 01-0208-7150 | 433.28 | .00 | 433.28 |
| 01-0208-7151 | 544.05 | .00 | 544.05 |
| 01-6000-7122 | 20.34 | .00 | 20.34 |
| 01-6000-7150 | 15.41 | .00 | 15.41 |
| 01-6000-7151 | 230.18 | .00 | 230.18 |
| 01-6000-7720 | 2,301.62 | .00 | 2,301.62 |
| 02-0000-2110 | .00 | 32,505.37- | 32,505.37- |
| 02-0100-6320 | 78.00 | .00 | 78.00 |
| 02-0100-7122 | 2,003.40 | .00 | 2,003.40 |

| GL Account | Debit | Credit | Proof |
|----------------------|------------------|-------------------|------------|
| 02-0100-7126 | 20.33 | .00 | 20.33 |
| 02-0100-7140 | 7,044.13 | .00 | 7,044.13 |
| 02-0100-7141 | 7,823.50 | .00 | 7,823.50 |
| 02-0100-7150 | 5,977.42 | .00 | 5,977.42 |
| 02-0100-7151 | 732.38 | .00 | 732.38 |
| 02-0100-7156 | 15.41 | .00 | 15.41 |
| 02-0100-7184 | 1,096.00 | .00 | 1,096.00 |
| 02-0100-7720 | 7,714.80 | .00 | 7,714.80 |
| 03-0000-2110 | .00 | 4,256.87- | 4,256.87- |
| 03-0100-6320 | 78.00 | .00 | 78.00 |
| 03-0100-7122 | 803.33 | .00 | 803.33 |
| 03-0100-7141 | 2,770.00 | .00 | 2,770.00 |
| 03-0100-7150 | 87.05 | .00 | 87.05 |
| 03-0100-7151 | 460.35 | .00 | 460.35 |
| 03-0100-7184 | 58.14 | .00 | 58.14 |
| 04-0000-2110 | .00 | 2,688.68- | 2,688.68- |
| 04-0100-7110 | 12.21 | .00 | 12.21 |
| 04-0100-7150 | 363.57 | .00 | 363.57 |
| 04-0100-7151 | 894.69 | .00 | 894.69 |
| 04-0201-7122 | 117.60 | .00 | 117.60 |
| 04-0201-7150 | 1,300.61 | .00 | 1,300.61 |
| Grand Totals: | 77,053.65 | 77,053.65- | .00 |

Dated: _____

District Manager: _____

Board Members : _____

Report Criteria:
 Report type: GL detail
 Check.Type = {<>} "Adjustment"

Dietz + Davis

DAF

Colorado City Metropolitan District, 10949
May 2026 Invoices for April time and expenses

| Case #/Name | Previous Balance | Current Balance | TOTAL DUE |
|---|------------------|-----------------|------------|
| 10949012 - Colorado City - Sanitation ✓ 03-0100-7141 | | \$2,770.00 | \$2,770.00 |
| 10949015 - Colorado City - Design Review & Covenants ✓ 01-0100-7123 | | \$266.00 | \$266.00 |
| 10949024 - Colorado City - DAF/GAC Water Treatment Project ✓ 02-0100-7141 | | \$1,504.00 | \$1,504.00 |
| 10949026 - Colorado City - Assure LLC v. CCMD ✓ 01-0100-7141 | | \$319.00 | \$319.00 |
| 10949027 - Colorado City - USDA Funding - DAF Project ✓ 02-0100-7141 | | \$6,319.50 | \$6,319.50 |
| | 0.00 | 11,178.50 | 11,178.50 |

WWTP
CCAC
WTP
ADM
WATER

ENTERED

MAY 19 2026

BY: [Signature]



DIETZE AND DAVIS, P.C.

Dietze and Davis, P.C.

2060 Broadway, Suite 400
Boulder, 80302
invoices@dietzedavis.com
http://dietzedavis.com/
O: (303) 447-1375

INVOICE

| | |
|------------|---------------------------------------|
| Number | 21255 |
| Issue Date | 5/18/2026 |
| Matter | 10949012 - Colorado City - Sanitation |
| Email | colocitymanager@colocitymdco.gov |

Bill To:

10949 - Colorado City Metropolitan District
4497 Bent Brothers Boulevard
Colorado City, CO 81019

| | Billed By | Rate | Hours | Sub |
|---|----------------------|----------|-------|----------|
| 4/16/2026 Review and analyze J. Brink response regarding last progress report and District's remediation requirements under Notice of Violation and N. Jacobs's response re same | Gabriella Stockmayer | \$335.00 | 0.20 | \$67.00 |
| 4/17/2026 Review past remediation reports, progress reports, and communications with J. Brink regarding remediation plan and CDPHE's position from 3/16 email regarding use of third party; strategy call with N. Jacobs to discuss; email to J. Brink to advise District is working on a response | Gabriella Stockmayer | \$335.00 | 1.70 | \$569.50 |
| 4/23/2026 Review remediation plan update from N. Jacobs based on input from Terracon and communicate with N. Jacobs re same | Gabriella Stockmayer | \$335.00 | 0.20 | \$67.00 |

| | Billed By | Rate | Hours | Sub |
|--|----------------------|----------|-------------|-------------------|
| 4/24/2026 Review N. Jacobs's response regarding remediation and attachments; meet with N. Jacobs to discuss response to CDPHE regarding remediation plan | Gabriella Stockmayer | \$335.00 | 0.70 | \$234.50 |
| 4/27/2026 Communications with J. Eccher and N. Jacobs re responding to and meeting with CDPHE regarding need to revise remediation plan; email to J. Brink to schedule meeting for next Tuesday; draft letter responding to CDPHE's April 16 email and reviewing N. Jacobs's revised report | Gabriella Stockmayer | \$335.00 | 2.00 | \$670.00 |
| 4/28/2026 Continue drafting letter to CDPHE regarding April 16, 2026 email and in preparation for next week's meeting to discuss remediation analysis of the lagoon | Gabriella Stockmayer | \$335.00 | 1.50 | \$502.50 |
| 4/29/2026 Revise letter to CDPHE, including with N. Jacobs comments, and prepare attachments; communicate with N. Jacobs, J. Eccher, and B. Royer re finalizing letter and attachments | Gabriella Stockmayer | \$335.00 | 1.70 | \$569.50 |
| 4/29/2026 Review email from GS re edits; review letter, finish proofing, and forward to GS for final review; create Dropbox link with documents and send link to GS for review; edit Dropbox and resend link | Bridgett C. Royer | \$180.00 | 0.50 | \$90.00 |
| | Total | | 8.50 | \$2,770.00 |

| | |
|-------------------|------------|
| Total (USD) | \$2,770.00 |
| Paid | \$0.00 |
| Balance | \$2,770.00 |
| Total Outstanding | \$2,770.00 |

Timekeeper Totals

| Name | Rate | Hours | Total |
|----------------------|----------|-------|------------|
| Gabriella Stockmayer | \$335.00 | 8.00 | \$2,680.00 |
| Bridgett C. Royer | \$180.00 | 0.50 | \$90.00 |

Trust Account Balance

| Date | Item | Amount | Balance |
|------------------|------------------------|--------|---------------|
| 5/18/2026 | Current Balance | | \$0.00 |



DIETZE AND DAVIS, P.C.

Dietze and Davis, P.C.

2060 Broadway, Suite 400
Boulder, 80302
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http://dietzedavis.com/
O: (303) 447-1375

INVOICE

| | |
|------------|--|
| Number | 21256 |
| Issue Date | 5/18/2026 |
| Matter | 10949015 - Colorado City - Design Review & Covenants |
| Email | colocitymanager@colocitymdco.gov |

Bill To:

10949 - Colorado City Metropolitan District
4497 Bent Brothers Boulevard
Colorado City, CO 81019

4/30/2026
Review draft 3rd letter re: covenant violation penalties and email re: same to D Rubin

4/30/2026
Finalize Third Covenant Enforcement Letter per C Steffl comments; phone call with J Eccher, send Third Letter with cover email to J Eccher for send out.

| Billed By | Rate | Hours | Sub |
|----------------|----------|-------------|-----------------|
| Carolyn Steffl | \$350.00 | 0.20 | \$70.00 |
| Daniel Rubin | \$280.00 | 0.70 | \$196.00 |
| Total | | 0.90 | \$266.00 |

| | |
|-------------------|----------|
| Total (USD) | \$266.00 |
| Paid | \$0.00 |
| Balance | \$266.00 |
| Total Outstanding | \$266.00 |

Timekeeper Totals

| Name | Rate | Hours | Total |
|----------------|----------|-------|----------|
| Carolyn Steffl | \$350.00 | 0.20 | \$70.00 |
| Daniel Rubin | \$280.00 | 0.70 | \$196.00 |

Trust Account Balance

| Date | Item | Amount | Balance |
|------------------|------------------------|--------|---------------|
| 5/18/2026 | Current Balance | | \$0.00 |



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INVOICE

| | |
|------------|--|
| Number | 21257 |
| Issue Date | 5/18/2026 |
| Matter | 10949024 - Colorado City-DAF/GAC Water Treatment Project |
| Email | colocitymanager@colocitymdco.gov |

Bill To:

10949 - Colorado City Metropolitan District
4497 Bent Brothers Boulevard
Colorado City, CO 81019

| | Billed By | Rate | Hours | Sub |
|--|----------------|----------|-------|----------|
| 4/1/2026 Correspondence with J Eccher regarding public meeting notice; review notice; brief check-in with C Steffl regarding notice; follow up email to G Stockmayer regarding Nate's report on actions taken to address water losses (to be considered as part of SRF funding application) | Daniel Rubin | \$280.00 | 0.50 | \$140.00 |
| 4/2/2026 Review notice of public hearing; email to D Rubin re: same; review offer letter for USDA loan for financing amounts and terms; email to S Thomas re: updating financial projections and rate projections | Carolyn Steffl | \$350.00 | 1.10 | \$385.00 |
| 4/2/2026 Finalize Public Meeting notice and send to J Eccher for publication. | Daniel Rubin | \$280.00 | 0.20 | \$56.00 |

| | Billed By | Rate | Hours | Sub |
|--|----------------------|----------|-------------|-------------------|
| 4/3/2026 Meeting with G Stockmayer to discuss water loss deliverable to be submitted with the District's SRF application; review updated funding assumptions and request for updated rate analysis to S Thomas. | Daniel Rubin | \$280.00 | 0.40 | \$112.00 |
| 4/6/2026 Review public meeting notice as sent to Greenhorn Valley View by J Eccher; email about zoom info needing to be updated, and resend updated notice. | Daniel Rubin | \$280.00 | 0.20 | \$56.00 |
| 4/14/2026 Attend Monthly Enforcement Meeting with CDPHE, USDA, and SRF; report on District progress. | Daniel Rubin | \$280.00 | 0.70 | \$196.00 |
| 4/20/2026 Additional review of Unaccounted-for Water Loss & Leak Detection deliverable for SRF funding application; send to G Stockmayer for review. (No Charge .2 hours of .5 hours) | Daniel Rubin | \$280.00 | 0.30 | \$84.00 |
| 4/21/2026 Review and propose edits to Unaccounted-for Water Loss Progress Report | Gabriella Stockmayer | \$335.00 | 1.00 | \$335.00 |
| 4/30/2026 Final review of Unaccounted-for Water Loss & Leak Detection - Progress Report; send to N Jacobs for final update. | Daniel Rubin | \$280.00 | 0.50 | \$140.00 |
| | Total | | 4.90 | \$1,504.00 |

| | |
|--------------------------|-------------------|
| Total (USD) | \$1,504.00 |
| Paid | \$0.00 |
| Balance | \$1,504.00 |
| Total Outstanding | \$1,504.00 |

Timekeeper Totals

| Name | Rate | Hours | Total |
|----------------------|----------|-------|----------|
| Daniel Rubin | \$280.00 | 2.80 | \$784.00 |
| Carolyn Steffl | \$350.00 | 1.10 | \$385.00 |
| Gabriella Stockmayer | \$335.00 | 1.00 | \$335.00 |

Trust Account Balance

| Date | Item | Amount | Balance |
|------------------|------------------------|--------|---------------|
| 5/18/2026 | Current Balance | | \$0.00 |



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http://dietzedavis.com/
O: (303) 447-1375

INVOICE

| | |
|------------|---|
| Number | 21258 |
| Issue Date | 5/18/2026 |
| Matter | 10949026 - Colorado City - Assure LLC v. CCMD |
| Email | colocitymanager@colocitymdco.gov |

Bill To:

10949 - Colorado City Metropolitan District
4497 Bent Brothers Boulevard
Colorado City, CO 81019

| | Billed By | Rate | Hours | Sub |
|---|----------------------|----------|-------|----------|
| 4/1/2026 Review Court's dismissal order; emails with J Maguire and G Stockmayer on appropriate procedure for motion for attorneys fees and costs; calendar deadline to file motion and reach out to J Eccher regarding next steps and decision of whether or not to pursue attorneys fees (No Charge .2 hours of .9 hours) | Daniel Rubin | \$280.00 | 0.70 | \$196.00 |
| 4/1/2026 Review and edit D Rubin email to J. Eccher re Court's orders dismissing the case and whether to proceed with a motion for attorney's fees and bill of costs | Gabriella Stockmayer | \$335.00 | 0.20 | \$67.00 |
| 4/2/2026 Email to J Eccher regarding Judge's Order to Dismiss Assure case; follow up email regarding availability of attorneys' fees from small claims court case. | Daniel Rubin | \$280.00 | 0.20 | \$56.00 |

4/7/2026

Follow up with J Eccher on decision of whether or not to file motion seeking attorneys fees; ensure deadline is calendared. (No Charge)

| Billed By | Rate | Hours | Sub |
|--------------|--------|-------|--------|
| Daniel Rubin | \$0.00 | 0.10 | \$0.00 |

| | | |
|--------------|-------------|-----------------|
| Total | 1.20 | \$319.00 |
|--------------|-------------|-----------------|

| | |
|--------------------------|-----------------|
| Total (USD) | \$319.00 |
| Paid | \$0.00 |
| Balance | \$319.00 |
| Total Outstanding | \$319.00 |

Timekeeper Totals

| Name | Rate | Hours | Total |
|----------------------|----------|-------|----------|
| Daniel Rubin | \$280.00 | 0.90 | \$252.00 |
| Gabriella Stockmayer | \$335.00 | 0.20 | \$67.00 |

Trust Account Balance

| Date | Item | Amount | Balance |
|-----------|------------------------|--------|---------------|
| 5/18/2026 | Current Balance | | \$0.00 |



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Boulder, 80302
invoicing@dietzedavis.com
http://dietzedavis.com/
O: (303) 447-1375

INVOICE

| | |
|------------|---|
| Number | 21259 |
| Issue Date | 5/18/2026 |
| Matter | 10949027 - Colorado City - USDA Funding - DAF Project |
| Email | colocitymanager@colocitymdco.gov |

Bill To:

10949 - Colorado City Metropolitan District
4497 Bent Brothers Boulevard
Colorado City, CO 81019

| | Billed By | Rate | Hours | Sub |
|--|---------------|----------|-------|----------|
| 4/9/2026 Review draft Letter of Conditions; Zoom call with A Ruiz, N Jacobs, J Eccher and D Rubin re: USDA letter of conditions; follow-up discussion with Daniel Rubin re: drafting list of required tasks | Carolyn Steff | \$350.00 | 2.40 | \$840.00 |
| 4/9/2026 Meeting with USDA - Accept Letter of Conditions; meeting with team to discuss; begin creating to do list of all items of the LOC. | Daniel Rubin | \$280.00 | 1.80 | \$504.00 |
| 4/10/2026 Draft memo to CCMD Board explaining the main points of the Letter of Conditions for the funding package offered by USDA; phone call with C Steff regarding memo. | Daniel Rubin | \$280.00 | 2.20 | \$616.00 |
| 4/10/2026 Conference with D Rubin re: memo summarizing LOC and requirements for reserve funds in LOC; review and revise memo and email same to J Eccher for Board packet | Carolyn Steff | \$350.00 | 1.30 | \$455.00 |

| | Billed By | Rate | Hours | Sub |
|--|----------------------|----------|-------|----------|
| 4/14/2026 Meeting with D Rubin and G Stockmayer re: LOC, next steps needed, and all diligence steps to complete loan; | Carolyn Steffl | \$350.00 | 0.90 | \$315.00 |
| 4/14/2026 Meeting with C Steffl and G Stockmayer to review Letter of Conditions from USDA, and to begin creation of checklist of USDA loan requirements with 1) deadline, 2) deliverable, and 3) principal person responsible. (No charge .2 hours of .9 hours) | Daniel Rubin | \$280.00 | 0.70 | \$196.00 |
| 4/14/2026 Strategize with C. Steffl and D. Rubin on USDA loan conditions, overlap with SRF loan, and plan to timely satisfy all conditions (No Charge .2 hours of .9 hours) | Gabriella Stockmayer | \$335.00 | 0.70 | \$234.50 |
| 4/15/2026 Review engagement letter with UMB and disclosure re: same; email to J Eccher to follow-up on whether Board approved LOC and engagement of UMB | Carolyn Steffl | \$350.00 | 0.60 | \$210.00 |
| 4/15/2026 Review final district-signed forms submitted to USDA - letter of intent to meet conditions and request for obligation; forward to G Stockmayer for her records. | Daniel Rubin | \$280.00 | 0.10 | \$28.00 |
| 4/20/2026 Read USDA Letter of Conditions carefully and create spreadsheet of each deadline and deliverable required to maintain compliance with reference to page number, section, and primary person responsible; and send to G Stockmayer and C Steffl (No Charge 2.5 hours of 5.0 hours) | Daniel Rubin | \$280.00 | 2.50 | \$700.00 |
| 4/21/2026 Conference with D Rubin re: whether to refinance Bank of San Juan Loan and information to be provided to UMB bank to begin financial analysis; short telephone call to J Eccher re: UMB Bank engagement and status of loans; telephone conference with M Buck at UMB Bank re: review needed and timeframe for same; | Carolyn Steffl | \$350.00 | 1.00 | \$350.00 |
| 4/21/2026 Review and analyze Letter of Conditions; review spreadsheet of deliverables and deadlines prepared by D. Rubin; | Gabriella Stockmayer | \$335.00 | 0.50 | \$167.50 |

| | Billed By | Rate | Hours | Sub |
|--|----------------------|--------------|--------------|-------------------|
| 4/21/2026 Review outstanding bond and loan agreements and awarded contracts and draft email to bond counsel and financial advisor regarding decision of whether or not to refinance Bank of San Juans Loan; meeting with C Steffl; call to J Eccher and K Crawford. | Daniel Rubin | \$280.00 | 2.00 | \$560.00 |
| 4/22/2026 Email to M Buck explaining financial analysis requested and pros and cons of restructuring BoSJ debt; call with M Buck regarding financial advice for DAF and Dam project loans, and whether restructuring existing debt ahead of closing on USDA loan is advisable; follow up emails re same. | Daniel Rubin | \$280.00 | 0.60 | \$168.00 |
| 4/29/2026 Continue review and analysis of Letter of Conditions from USDA and D. Rubin's spreadsheet with deadlines; communicate with D. Rubin and C. Steffl re interplay between SRF application (with June deadline) and USDA loan | Gabriella Stockmayer | \$335.00 | 0.50 | \$167.50 |
| 4/30/2026 Call with UMB (Melissa Buck) to discuss financing scenarios and next steps to ensure parity and inquiries to CWCB and USDA about next steps; phone call with J Eccher, email to team regarding Allison Ruiz suggestion for Attorney Letter of Recommendation to switch revenue source pledge (No Charge 1.2 hours of 1.4 hours) | Daniel Rubin | \$280.00 | 0.20 | \$56.00 |
| 4/30/2026 Attend meeting with M. Buck, J. Eccher, C. Steffl, and D. Rubin to discuss financing issues related to USDA Loan and supplemental loans | Gabriella Stockmayer | \$335.00 | 1.20 | \$402.00 |
| 4/30/2026 Zoom call with J Eccher, M Buck, G Stockmayer and D Rubin re: upcoming financings and structure for same and rate changes needed | Carolyn Steffl | \$350.00 | 1.00 | \$350.00 |
| 4/30/2026 Meet with M. Buck, J. Eccher, and Dietze Davis to discuss financing. (No Charge) | Carolyn Steffl | \$0.00 | 1.20 | \$0.00 |
| | | Total | 21.40 | \$6,319.50 |

| | |
|-------------------|------------|
| Total (USD) | \$6,319.50 |
| Paid | \$0.00 |
| Balance | \$6,319.50 |
| Total Outstanding | \$6,319.50 |

Timekeeper Totals

| Name | Rate | Hours | Total |
|----------------------|----------|-------|------------|
| Carolyn Steffl | \$350.00 | 7.20 | \$2,520.00 |
| Daniel Rubin | \$280.00 | 10.10 | \$2,828.00 |
| Gabriella Stockmayer | \$335.00 | 2.90 | \$971.50 |

Trust Account Balance

| Date | Item | Amount | Balance |
|-----------|-----------------|--------|---------|
| 5/18/2026 | Current Balance | | \$0.00 |

FilmTec Corporation

FilmTec Corporation
 5400 DEWEY HILL RD
 EDINA MN 55439-2085
 UNITED STATES

Invoice 952633606
Date 12APR2026

Customer Order Number

73749

Our Reference

141164986

Ordering Party:

COLORADO CITY METROPOLITAN DISTRICT
 PO Box 20229
 COLORADO CITY CO 81019

Ship to

COLORADO CITY METROPOLITAN DISTRICT
 4497 BENT BROTHERS BLVD
 COLORADO CITY CO 81019

If you have any questions regarding
 this document, please contact
 MARIANA RODRIGUEZ Cust Svc
 Ctr, mariana.rodriguez@dupont.com

Account No. 1011006299

Mail / Invoice to:

ATTN:Accounts Payable
 COLORADO CITY METROPOLITAN DISTRICT
 PO Box 20229
 COLORADO CITY CO 81019

Delivery Terms:

PPD COLORADO CITY

Payment Terms/Due date

NET 30 DAYS FROM INVOICE DATE
 Net due to be received by 12MAY2026

Currency

US Dollar

| Item | Quantity and description | Quantity in Price Unit | Unit Price | Amount |
|--------------|--|------------------------|-----------------------|-----------------|
| 10 | 1.000 Each 00012045022 DRIVE,VFD 19A 380-480VAC 10HP IP20; Gross Weight : 1.000 KG / 2.205 LB Net Weight : 1.000 KG / 2.205 LB Delivery note: 800020737 / 12APR2026 | 1.000 EA | 4,150.0000 USD/1EA | 4,150.00 |
| 20 | 1.000 Each 00012040474 PANEL,ELEC MM4 BASIC OPR Gross Weight : 1.000 KG / 2.205 LB Net Weight : 1.000 KG / 2.205 LB Delivery note: 800020737 / 12APR2026 | 1.000 EA | 140.0000 USD/1EA | 140.00 |
| 30 | 1.000 Each 00012042073 MODULE,PROFIBUS SHLD GRN/ORN/RED LED; Gross Weight : 1.000 KG / 2.205 LB Net Weight : 1.000 KG / 2.205 LB | 1.000 EA | 460.0000 USD/1EA | 460.00 |
| | Freight Surcharge | | / EA | 150.00 |
| | Delivery note: 800020737 / 12APR2026 | | | 610.00 |
| | Total Gross Weight : 3.000 KG / 6.615 LB | | | |
| | Total Net Weight : 3.000 KG / 6.615 LB | | | |
| Total | | | | 4,900.00 |

EN

MAY 10 2026

BY: _____

FilmTec Corporation

FilmTec Corporation
5400 DEWEY HILL RD
EDINA MN 55439-2085
UNITED STATES

| | |
|----------------|------------------|
| Invoice | 952633606 |
| Date | 12APR2026 |

Additional Information

Gary Golladay @ (719) 568-8246

The order delivered on 4-1-2026, delivered by FedEx tracking number 8701-7421-6913, signed by "R.Ndersom."

Remit Payment To: FilmTec Corporation

WIRE/ACH:

Acct: 550391210 ABA ACH/Domestic Wire Only: 021000021

Swift Code International Wires: CHASUS33

JPMorgan Chase New York, NY 10017

CHECK PAYMENTS:

P.O. BOX 734900

Chicago, IL 60673-4900

Please reference 952633606 on payments.



INVOICE

INVOICE NUMBER: 7364714
 BILL OF LADING:
 INVOICE DATE: 5/05/26
 DUE DATE: 6/03/26

15850 Dallas Pkwy
 Dallas, TX 75248
 Payment Inquiries 704-788-9800

Please Remit Payment To:
 FORTILINE, INC
 P.O. BOX 841499
 DALLAS, TX 75284-1499

Federal Tax ID# 57-0819190

Warehouse:
 FORTILINE ENGLEWOOD
 12700 E BRONCOS PWY
 ENGLEWOOD, CO 80112
 Telephone: 999-999-9999

SOLD TO
 4393 1 MB 0.672 E0108X I0203 D15068608817 S2 P11043982 0001:0001

SHIP TO




COLORADO CITY METRO DISTRICT
 PO BOX 20229
 COLORADO CITY CO 81019-2229

COLORADO CITY METRO DISTRICT
 5000 COLORADO BLVD
 COLORADO CITY, CO 81019

| BRANCH NO | FROM CONTRACT | ORDER NO | SHIPPING METHOD | CUSTOMER NO | TERMS | | |
|----------------|---|----------|-----------------|-------------|--------------|------------|----------------|
| 108 | | 7364714 | Our Truck | 243304 | NET 30 DAYS | | |
| PO NO | JOB NAME | JOB NO | SLS | DUE DATE | SHIP DATE | | |
| JCM & ROMAC | JCM & ROMAC | | S9S | 6/03/26 | 5/01/26 | | |
| PRODUCT NO | DESCRIPTION | UOM | ORDERED | SHIPPED | BACK ORDERED | UNIT PRICE | EXTENDED PRICE |
| JCM424101450 | 4X24 101 REP CLMP 4.45-4.75 101-0450-24 JCM | EA | 2 | 2 | 0 | 352.0000 | 704.00 |
| JCM624101663 | 6X24 101 REP CLMP 6.56-6.96 101-0663-24 JCM | EA | 2 | 2 | 0 | 440.0000 | 880.00 |
| JCM624101710 | 6X24 101 REP CLMP 7.05-7.45 101-0710-24 JCM | EA | 1 | 1 | 0 | 440.0000 | 440.00 |
| JCM10241011075 | 10X24 101 REP CLMP 10.60-11.00 101-1075-24 JCM | EA | 2 | 2 | 0 | 677.0000 | 1,354.00 |
| JCM10241011140 | 10X24 101 REP CLMP 11.34-11.74 101-1140-24 JCM | EA | 2 | 2 | 0 | 677.0000 | 1,354.00 |
| JCM10241011200 | 10X24 101 REP CLMP 12.00-12.40 101-1200-24 JCM | EA | 2 | 2 | 0 | 677.0000 | 1,354.00 |
| 18N12 | 18" N12 AASHTO M294 PIPE IB/ST | FT | 40 | 40 | 0 | 34.3500 | 1,374.00 |
| 18N12FES | 18" FLRD END SECTION 1810NP | EA | 2 | 2 | 0 | 463.8100 | 927.62 |

ENTERED

MAY 13 2026

BY: 

FORTILINE offers online payments and access to invoice copies for your convenience at <http://Fortiline.Billtrust.com>.

REGISTER TO ACCESS YOUR ONLINE ACCOUNT AT <http://FORTILINE.BILLTRUST.COM>

Online Payments, View, and Download Invoices and Statements.

| | |
|------------|------------|
| AMOUNT DUE | \$8,387.62 |
| TAX | \$0.00 |
| FREIGHT | \$0.00 |
| OTHER | \$0.00 |
| TOTAL DUE | \$8,387.62 |

NO RETURNS ACCEPTED WITHOUT PRIOR AUTHORIZATION. AUTHORIZED RETURNS ARE SUBJECT TO RESTOCKING FEES.
 SPECIAL ORDER ITEMS ARE NOT RETURNABLE. ALL CLAIMS MUST BE FILED WITH THE CARRIER.
 TERMS and CONDITIONS of sale, please visit <http://www.fortiline.com>

Garren, Ross & DeNardo, Inc.

3673 Parker Blvd.

Suite 200

Pueblo, CO 81008

Phone: (719) 544-9872

Web: grdcpa.com

COLORADO CITY METROPOLITAN
DISTRICT
P.O. BOX 20229
COLORADO CITY, CO 81019

ID: 1164

Date: 04/30/2026

| Date | Type | Reference | Due Date | Debit | Credit | Balance |
|----------|----------------|-----------|----------|-----------|--------|--------------------|
| 04/30/26 | Invoice #53794 | | 05/30/26 | 39,134.03 | | 39,134.03 |
| 04/30/26 | Amount Due | | | | | <u>\$39,134.03</u> |

ENTERED

MAY 14 2026

BY: _____

ADM - 70% - 27,393.82
 P&R - 12% - 4,696.08
 W - 18% - 7,044.13

| <u>04/30/2026</u> | <u>03/31/2026</u> | <u>02/28/2026</u> | <u>01/31/2026</u> | <u>12/31/2025+</u> | <u>Total</u> |
|-------------------|-------------------|-------------------|-------------------|--------------------|--------------|
| 39,134.03 | 0.00 | 0.00 | 0.00 | 0.00 | \$39,134.03 |

Please return this portion with payment.

Date: 04/30/2026

ID: 1164

COLORADO CITY METROPOLITAN
DISTRICT

Amount Due: \$39,134.03

Amount Enclosed\$ _____

Colo Nat'l Gas - Auto Pay 5/26/26

5.18.2026 for period: 4.8.26 - 5.8.26

3.9.26 - 4.8.26

4.8.25-5.8.25

| Location | Amount | Account # | Meter # | GL | Last Month | Last Year |
|-----------------------|---------|-----------|-----------|--------------|------------|-----------|
| Golf Course Maint | 260.85 | 2025840 | 10N157258 | 04-0201-7191 | 211.80 | 228.39 |
| W&S Main. Shop | 190.54 | 2025845 | 08K308830 | 02-0100-7191 | 230.69 | 452.97 |
| W&S Main. Shop | 190.53 | 2025845 | 08K308830 | 03-0100-7191 | 230.69 | 452.98 |
| Wastewater Plant | 125.85 | 2025846 | 10N157263 | 03-0100-7191 | 118.40 | 174.88 |
| Pro Shop | 503.43 | 2025853 | 10N098566 | 04-0100-7191 | 466.75 | 370.86 |
| Administration Office | 264.57 | 2025855 | 14Y180767 | 01-0100-7191 | 293.29 | 255.79 |
| Cold Springs | 521.61 | 2025860 | 10N157211 | 02-0100-7191 | 473.27 | 557.66 |
| Water Treatment Plant | 680.67 | 2025861 | 10N157197 | 02-0100-7191 | 824.74 | 880.6 |
| Pool | 3085.67 | 2025863 | 14Y409278 | 01-0207-7191 | 60.26 | 54.58 |
| Recreation Center B | 127.7 | 2025867 | 09L247928 | 01-0203-7191 | 108.21 | 176.73 |
| Recreation Center A | 116.6 | 2025865 | 06H370268 | 01-0203-7191 | 142.16 | 171.08 |
| | 6068.02 | | | | 3160.26 | 3776.52 |

